

RYAN MILLER

ARCHITECTS

Ryan Miller Architects

PROPERTY CONDITION ASSESSMENT

2030 Harrison Street, San Francisco, CA 94110



PREPARED FOR:

University Games
2030 Harrison Street
San Francisco, CA 94110

PROJECT 26008.61
May 1, 2026

PREPARED BY:

Ryan Miller, Architect
California License No. C28183

REVIEWED BY:

Charles Bucher, Architect
California License No. C33881

TABLE OF CONTENTS

I.	EXECUTIVE SUMMARY	Page 3
	A. Property Description	Page 3
	B. Property Data	Page 3
II.	REGULATORY REVIEW	Page 6
III.	SUMMARY OF FINDINGS & RECOMMENDATIONS	Page 7
IV.	PROPERTY CONDITION ASSESSMENT	Page 8
	A. Site Contact	Page 8
	B. Site Development.....	Page 8
	C. Parking & Asphalt Paving	Page 9
	D. Exterior Envelope.....	Page 9
	E. Roofing Systems.....	Page 11
	F. Structural.....	Page 12
	G. Interiors.....	Page 12
	H. Mechanical/HVAC.....	Page 13
	I. Electrical	Page 14
	J. Gas	Page 14
	K. Plumbing.....	Page 14
	L. Fire/Life Safety Equipment	Page 15
	M. Vertical Transportation	Page 16
	N. Accessibility Compliance	Page 16
V.	CONSULTANT'S QUALIFIERS	Page 17
SPREADSHEET	Immediate Needs & Replacement Reserves Spreadsheet	
FIGURES	Regional Map, Vicinity Map, and Aerial Photo	
PHOTOGRAPHS	Photos 1 through 112	
APPENDIX A	Assessor's Parcel Map, Assessor Information, Sanborn Maps, Planning Department Information, Historic Information, FEMA Map, and Additional Building Permit Information	
APPENDIX B	Due Diligence Questions with Responses	
APPENDIX C	General Conditions and Authorization for Reliance	

PROPERTY CONDITION ASSESSMENT

2030 Harrison Street, San Francisco, CA 94110

I. EXECUTIVE SUMMARY

On April 17, 2026, Ryan Miller Architects visited the site to observe the condition of the structure and improvements. Maddy Lehman and Sara Silver of University Games facilitated our site visit and provided additional information about the property's maintenance history. Tony Mulligan acted as our primary site escort along with Sara Silver.

This Property Condition Assessment was conducted on behalf of University Games, in support of their acquisition of the property.

This Executive Summary is provided solely for the purpose of overview. Any party who relies on this report must read the full report. The Executive Summary may have omitted important details, any one of which could be crucial to the proper understanding and subject matter risk assessment.

The purpose of this report is to inform the reader of the existing condition of the civil, architectural, and landscape components, as well as the mechanical, electrical, plumbing (MEP), and fire and life safety (FLS) equipment, that comprise the property and identify what conditions, if any, should be corrected to improve building systems, appearance, and performance over the next five years.

A. Property Description

The subject property consists of one low-rise office building on a single legal parcel. The original three-story building was constructed in 1907. An addition with four floors—the fourth floor is a partial floor—was added sometime between 1907 and 1950 at the south end of the original building. The building contains 26,320 square feet (SF) of floor area, per the Assessor's Report; rentable floor area is shown as 27,848 SF. The building occupies roughly 68% of the

triangular parcel; the remainder contains public sidewalks and a small parking area on the south end of the site. Per the Assessor's Report, the site contains 0.296 acres. It is bound to the east by Harrison Street, on the west by Treat Avenue, and on the south by 17th Street.

Similarly and larger-scaled office/commercial buildings and some multi-family residential developments are found in the immediate vicinity. Neighboring buildings range between two and five stories in height. The subject parcel itself is generally flat, descending from north to south with one foot of elevation change. The building elevation facing Harrison Street is the east elevation.

The subject property has a PDR-1-G (Production, Distribution & Repair-1-General) zoning designation. The likely occupancy classification is:

Group B (Business—office)

Some of the roof, intermediate floor, and perimeter wall framing is visible and appeared in generally Good condition. Construction is likely Type III-B, non-fire resistive rated, fully fire sprinklered. The building has two different structural systems. The north part of the building—the original construction from 1907—has cast-in-place concrete perimeter walls; heavy wood beams and columns provide support to the wood-framed intermediate floor and roof decks.

The four-story addition has cast-in-place concrete perimeter walls, beams, and columns. Steel shear bracing is also installed in this portion of the building.

The building has a wood-framed crawl space foundation system with perimeter cast-in-place walls at the original building only. Continuous perimeter shallow footings and isolated spread footings at interior column locations are likely utilized.

Elsewhere, a slab-on-grade foundation is installed at the addition.

Site elements appeared in Good to Fair condition. The majority of the parcel contains the building itself with the remainder covered by the concrete sidewalks which ring the building and the small parking area. Mature street trees are the only landscaping. They are installed on the three bordering streets and are maintained by the City. An irrigation system is not installed.

Seven delineated, off-street parking stalls are provided in the small parking area at the south end of the site, one of which is a Disabled Accessible stall. Off-street parking is not required in San Francisco for the occupancies of the current tenant.

The roofing systems appeared in Fair to Poor condition with the bias towards Poor on the main portion of the roof.

There are three flat roof areas; all have minimal slopes. The main portion of the roof is above the third floor; the roof area above the partial fourth floor is significantly smaller. The main portion of the roof reportedly has a two-ply built-up roofing (BUR) system with pea gravel ballast. There is also a stairwell penthouse with a separate roof level. BUR systems are installed on all levels, though gravel ballast is absent on the penthouse and the roof above the fourth floor. The tenant did not know if there were current leaks though the roofing systems.

An area of longstanding ponded water was observed near the ventilation equipment at the foot of the north elevation of the fourth floor. There is no roof drain in the immediate vicinity of the ponded water and the make-up air (MUA) unit and the exhaust fan/duct complex serve as dams preventing water from flowing freely to the single roof drain on the main portion of the roof.

There is one roof and overflow drain combination on the fourth floor roof. Interior downspouts are provided and convey storm water via underground piping to the municipal storm drain system.

Owing to the unknown age of the roofing systems and the observed degraded condition, we

recommend that new, tear-off roofing systems be provided on all roof areas during the reserve term.

Exterior finishes and windows and doors appeared in Fair to Poor condition with the bias towards Poor. The perimeter cast-in-place concrete walls have a concrete stucco finish and are painted red with black and cream as accent colors. The steel window frames are painted black; rust is prevalent. In some instances, the rust is egregious and window frame restoration and/or replacement is recommended.

Many of the mulled window sets have openable panels on a horizontal center pivot. All glazing is clear single-pane; several broken panes were observed. The steel-framed windows reportedly date to original construction.

Exterior wall paint finishes are in a degraded condition. Numerous cracks in the perimeter concrete walls—and paint finishes—were observed. The date of the last complete exterior repainting is unknown and is thought to precede the current tenant's occupancy which commenced in 1999.

We observed one area in the interior on the third floor on the south perimeter wall where water penetration through the concrete wall has occurred. We were shown some windows along the east elevation on the second floor where known water penetration through the windows has occurred.

We recommend complete rehabilitation of the exterior finishes on the perimeter walls, doors, and, as noted above, windows.

Interior finishes appeared in generally Good condition. The floor finishes include low-pile broadloom carpet, wood plank or vinyl laminate flooring, and vinyl composite tile (VCT). The painted interior side of the perimeter concrete walls and painted gypsum board walls are provided as the interior wall finishes. The painted underside of the floor and roof slabs is the typical ceiling finish; acoustic ceiling tile systems are also installed.

The observed MEP systems appeared in Good to Poor condition.

Core air conditioning and heating is provided by two roof-mounted packaged units, a cooling tower, and a

boiler. The packaged units serve the third and fourth floors. The cooling tower and boiler feed a hydronic loop system serving seven water-source heat pumps in attic locations on the first and second floors. Ventilation is typically handled by the roof-mounted MUA unit, exhaust fans, and static vents.

Pacific Gas & Electric (PG&E) provides 208Y/120 volt three-phase, four-wire service to the property. The main service entrance equipment and the main disconnect are both rated at 1,600 amps. Copper wire-in-conduit feeds handle power distribution. The main service entrance equipment was manufactured by Square D in 1998, as were the sub-panels we observed. The electrical equipment appeared in generally Good condition.

Domestic and fire sprinkler water is provided from the San Francisco Water Department main. The property is connected to the municipal public sewage system main. Both mains are located beneath Harrison Street. The water meter is in an underground vault along that street. Observed domestic water piping inside the building is copper; observed waste piping is hubless cast iron. No instances of underground sewer line replacements were reported by the tenant over the period of their occupancy.

Natural gas service from PG&E is provided to the property at the gas meter station at the foot of the south elevation in the parking area. The gas service line is not fitted with an automatic seismic shut-off valve at the meter. Natural gas is consumed by the packaged units, the boiler, and the water heater.

The installed FLS system appeared in Fair to Poor condition. The building is fully fire sprinklered. A fire alarm system is installed, though alarm devices, such as horns and strobes, are absent in most required locations. Older sprinkler heads are reportedly installed in a majority of locations. The fire alarm control panel (FACP) is out of production and obsolete. Five-pound fire extinguishers were observed in numerous locations; all observed units had either expired or absent inspection tags. We recommend that the FACP and the fire alarm system be updated so that a fully Disabled Accessibility compliant system is provided. Replacement of expired sprinkler heads is recommended as an optional Modernization expense.

One hydraulic passenger elevator is installed. A digital controller is provided. This equipment was reportedly installed in 1998. A wheel chair lift is also installed.

Accessibility compliance appeared generally Good, though the main entrance at the north end of the building is not accessible to a wheelchair occupant. However, an Accessible entrance is provided along the east elevation near the elevator lobby. One Accessible parking stall is provided; two are required, one of which shall be a Van Accessible stall. Restrooms and interior path of travel are generally compliant with current Accessibility code requirements. However, the shower on the fourth floor is not compliant with current Accessibility codes.

B. Property Data

AP Number:
3572/023

Primary Address:
2030 Harrison Street
San Francisco, CA 94110

Property Type:
Low-rise office facility; the building was originally used as a mattress factory.

Likely Occupancy Classifications:
Group B (Business—offices)

Likely Construction Type:
Type III-B, non-fire resistive rated, fully fire sprinklered.

Year of Original Construction:
1907

Seismic Retrofit:
The building was designed and constructed according to a pre-Northridge earthquake edition of the building code. Two older permits were pulled for seismic upgrades; both have expired with indications that no work was ever performed under either permit. However, shear bracing was observed and was reportedly added in the late 1990s.

Zoning Designation:

PDR-1-G (Production, Distribution & Repair-1-General)

Height & Bulk Districts:

58-X

Maximum Approximate Height:

57'-0"

Maher Ordinance:

Yes

Number of Stories:

Four; the fourth floor is a partial floor.

Flood Zones:

FEMA Flood Zone X (unshaded)
The site is not within the San Francisco Planning Department Special Flood Hazard Area

Reported Floor Area:

26,230 SF (per Assessor's Report)

Site Area (per Assessor's Report):

0.296 acres (12,898 SF)

On-site Parking Provided:

Seven stalls total

Accessible Parking Provided:

One Accessible stall, sized as a Van Accessible stall, but lacks compliant signage.

Interior Path of Travel:

Appeared generally compliant with current codes in interior areas.

Restroom Accessibility:

Appeared generally compliant with current codes, except for the notable absence of horn/strobe alarm devices and the shower.

permit archive, but it only has records dating back to 1983 for this building. Exhaustive research for violations information with the Fire, Building, and Planning Departments was not conducted for this report, though some cursory review of SFDBI violations information was reviewed in online records. No current, active violations or complaints are registered for the property with the Building or Planning Departments.

Original construction was completed in 1907, as reported by the Planning Department. The building was likely designed and constructed in accordance with the 1906 edition of the San Francisco Building Code (SFBC).

San Francisco does not have a sewer lateral inspection requirement prior to the transfer of real property, though the Public Utilities Commission recommends that lateral inspections be performed by a property owner. Property owners are nonetheless responsible for upper and lower lateral maintenance. We recommend in Section K. that a video snake inspection of the underground sewer lines be conducted by a licensed plumber.

The building has no Federal or State of California historic designations, though the San Francisco Planning Department classifies the site as having Historic Resources present. Additional information concerning San Francisco Planning Department CEQA Review Procedures for Historic Resources can be found in the San Francisco Preservation Bulletin No. 16, which can be accessed here:

<https://archives.sfplanning.org/documents/5340-PresBulletin16CEQA.pdf>

Additional historic information about the building can be found here:

<https://sfplanninggis.org/docs/DPRForms/3572023.pdf>

It was not possible for us to determine if the site is located on artificial fill by referring to the USGS Quaternary Deposits and Liquefaction Susceptibility Map for the Bay Area, which can be viewed here:

https://pubs.usgs.gov/of/2000/of00-444/of00-444_7b.pdf

II. REGULATORY REVIEW

Direct review of records of the Fire, Building, and Planning Departments at City and County of San Francisco offices is not included within the scope of work for this report. The San Francisco Department of Building Inspection maintains an online building

The site appears to be located in a liquefaction zone. The interactive California Geological Survey Liquefaction Map can be found here:

<https://maps.conservation.ca.gov/cgs/information/warehouse/eqzapp/>

The San Francisco Public Works Sidewalk Inspection and Repair Program requires that property owners comply with City and State codes that require them to keep their sidewalks free of defects. Proactive sidewalk inspections of all city sidewalks are on a 25 year cycle to get repairs. That means, every 25 years, all city sidewalks are inspected and repaired as part of the program. Sidewalk damage that is the responsibility of municipal agencies or private utilities is also repaired as part of the program. Additional information can be found here:

<https://sfpublicworks.org/sirp>

The San Francisco Accessible Building Entrance (ABE) requirement has been repealed.

Copies of pertinent documents are included in the Appendix.

III. SUMMARY OF FINDINGS AND RECOMMENDATIONS

We evaluate the subject property as in overall Good condition for interior elements and in Fair to Poor condition for exterior and roof elements.

Immediate Needs

Immediate Needs are defined as physical deficiencies that require immediate action to correct (1) existing or potentially unsafe conditions; (2) significant negative conditions impacting marketability or habitability; (3) material building code violations; (4) poor or deteriorated condition of critical element or system; or (5) a condition that if left "as is" would cause or contribute to critical element or system failure within one year or a significant escalation in repair costs.

Immediate Repair Needs as indicated in the Immediate Needs & Replacement Reserves Analysis spreadsheet (the Spreadsheet) are estimated at

\$42,300. Expenditures include repairs to address tripping hazards in concrete site work and to conduct various fire system inspections and annual elevator and wheelchair lift inspections.

Replacement Reserves

Replacement Reserves are funds allocated for (1) priority-based repairs of physical deficiencies resulting from poor design, faulty installation, or the substandard quality of original systems or materials; (2) deferred maintenance; and (3) replacement of components or systems that have realized or exceeded their Expected Useful Life (EUL).

EUL is defined as the average amount of time in years that an item, component, or system is estimated to function when installed new, assuming routine maintenance is practiced. We apply EUL standards established by such organizations as the American Society of Heating, Refrigeration and Air-conditioning Engineering, Inc. (ASHRAE) and the U.S. Department of Housing and Urban Development (HUD), but may modify them following a subjective evaluation of an item, component, or system by experienced, licensed professionals.

The five-year replacement reserves are estimated at **\$1,946,973** which includes a 2.5% per year inflation factor. Expenditures include repairs to address deficiencies on all exterior elevations and with the window systems, new roofing systems, and HVAC equipment replacements.

Modernization/Improvement

Items in this category are not mandatory or essential, but are recommendations for general improvements and modernization to bring the property up to current standards or best practices. The Spreadsheet includes Modernization items as a separate category from the main body of the Spreadsheet so that the costs for this work are totaled separately.

Optional Modernization expenses are estimated at **\$2,303,000.** The suggested work calls for the installation of a new cooling tower, replacement of egregiously rust-damaged windows which can't be restored, and extensive repairs to address cracks in perimeter walls to forestall structural damage.

IV. PROPERTY CONDITION ASSESSMENT

A. PROJECT CONTACTS

Site Contact Name: Maddy Lehman

Site Contact Phone Number: (415) 934.3798

Accompanied During Site Visit: Yes: Tony Mulligan and Sara Silver

On-Site Full-Time Maintenance Staff: No (part-time only)

B. SITE DEVELOPMENT

OVERALL RATING: Good to Fair

Code/Life Safety Issues: Yes. Tripping hazards.

Landscaping: Mature street trees are the only landscaping. They are installed on the three bordering streets and are maintained by the City. An irrigation system is not installed. Volunteer growth of weed-like vegetation has sprouted up along the chain-link fence at the south end of the site and in sidewalk voids where street trees are located; removal of the unwanted plants is recommended. This is a matter of routine maintenance and a cost estimate is not included in the Spreadsheet.

Fencing: Good to Fair with the bias toward Fair. Galvanized chain-link fencing is provided around the parking area at the south end of the site. A manually operated rolling vehicular gate is installed on the west side of the parking area to regulate vehicular ingress/egress. A gate for pedestrian use is located in the east portion of the fence. The fencing and gates have an overall run-down appearance with rust observed in places; we recommend fence and gate replacement as an optional Modernization item in the Spreadsheet.

Storm Water Drainage: Poor. Waste water back-ups through first floor restroom floor drains have been reported, as recently as earlier in the week of our site visit. It is reported that the San Francisco Water

Department intends to install new sewer piping underneath Harrison Street.

One grated drain inlet is located in the parking lot.

Water/Sewer: Good for water service. Domestic and fire sprinkler water is provided from the municipal main. The property is connected to the municipal sewage system main. Both mains are located beneath Harrison Street.

Fair to Poor for sewer service. Because of the recent sewer line back-up—and other reported past back-ups—we recommended to the prospective buyer prior to the site visit that a sewer line video snake inspection should be performed by a licensed plumber. This recommendation is listed under Section K. Plumbing in the Spreadsheet.

Per the tenant, there have been no known sewer lateral replacements during their occupancy

Concrete Sitework: Good to Fair. A concrete public sidewalk rings the building.

Tripping Hazards: Numerous changes of elevation in sidewalk panels in excess of ¼" were observed; these present tripping hazards.

Minor damage to the concrete sidewalks was also observed, such as cracking where pieces of concrete are missing, creating voids. Minor repairs are recommended; as such, no line item is included in the Spreadsheet for these repairs.

Miscellaneous Structures and Items: None

Water Features: None

Comments: The site is located in FEMA Flood Zone X (unshaded) as shown on FEMA map panel 0602980118A, dated March 23, 2021. The parcel is not located within an area prone to flooding identified on the San Francisco Planning Department 100-Year Storm Flood Risk Zone Map, which can be found at:

<https://gis.sfpuc.org/portal/apps/instant/basic/index.html?appid=5dbe439cb71f42c89de0e2af110ae1f0>

Or:

<https://www.sfpuc.gov/learning/emergency-preparedness/flood-maps>

The San Francisco Public Utilities Commission has scheduled Phase 3 (Sewer Box Upgrades) of the Folsom Area Stormwater Improvement Project. The proposed work is for upsizing and constructing 3,200 linear feet of large box sewers along Florida Street, Treat Avenue, and Harrison Street, from Florida Street to 18th Street. Crews will excavate a portion of the block to install a large, approximately 20 foot wide, sewer box to provide additional underground storage and conveyance capacity. Traffic detours and alternate access will likely be needed for several months in work areas. Additional information can be found here:

<https://www.sfpuc.gov/construction-contracts/construction-projects/folsom-area-stormwater>

Cost estimates for remedial measures to address degraded concrete site work are included in the Spreadsheet. The allowance to install new chain-link fencing and gates is listed in the optional Modernization category.

C. PARKING & ASPHALT PAVING

OVERALL RATING: Fair to Poor

Code/Life Safety Issues: Two Accessible parking stalls, access aisles, and a delineated path of travel, which offers direct access to an Accessible building entrance, are not provided. Only one Accessible parking stall is provided. See Section N. for additional information.

Parking Type: Off-street parking stalls are provided in the asphalt-paved, surface parking lot at the south end of the site.

Total parking stalls: Seven, one of which is Accessible

Comment: Off-street parking is not required in San Francisco for the occupancy type of this building.

The date of the last parking lot resealing and restriping is unknown. It may likely precede the occupancy of the current tenant.

We recommend that minor and full-depth asphalt repairs be undertaken in conjunction with resealing the asphalt surface to return the asphalt paving to Good condition; we further recommend that the parking stalls be restriped. The costs for this work are included in the Spreadsheet.

D. EXTERIOR ENVELOPE

OVERALL RATING: Fair to Poor with the bias towards Poor

Code/Life Safety Issues: None

Exterior: Fair to Poor with the bias towards Poor. Our observations of the perimeter walls were made from grade and were not exhaustive. These walls are cast-in-place concrete with a concrete stucco and a painted finish. The date of the last exterior repainting is unknown.

Cracking: Numerous cracks in the perimeter concrete walls were observed. Our observations of the cracks during our site visit were not exhaustive. Concrete cracks as part of its aging process, and the cracks are likely typically minor though they are unsightly. We recommend that, in conjunction with the general exterior repainting recommended below, patch repairs of the concrete cracks should be performed.

We were shown one interior area on the south wall on the third floor where water penetration through the perimeter walls has occurred. We recommend that all exterior cracks be cleaned and dressed. Then a crystalline, penetrating concrete sealant, such as Xypex, should be applied over all perimeter wall cracks on the exterior side.

Deterioration: The exterior paint is in a highly degraded condition; its age is unknown. Complete exterior repainting of all building elements with a paint finish is recommended; this, however, does not include the window frames which are discussed below.

The remedial measures recommended above are more of a cosmetic fix to address the superficial appearance of the cracks and to address water migration through the perimeter concrete wall on a more or less superficial basis. To more fully address

the cracking in the exterior walls to forestall possible structural damage, the following is outlined as a longer-term solution as optional Modernization items:

- Remove all existing concrete stucco from perimeter walls;
- Clean and dress all exterior cracks;
- Treat the entirety of the perimeter walls with Xypex;
- Provide patch repairs at all cracks;
- Apply new concrete stucco finish;
- Repaint the perimeter walls.

These bullet items are combined into a single line item in the Spreadsheet.

Retaining Walls: None

Windows & Doors: Fair to Poor with the bias towards Poor. Our observations of the windows were made from grade and were not exhaustive. Painted steel-framed windows are provided; they reportedly date to original construction. Many of the muller window sets have openable panels on a horizontal center pivot. All glazing is clear single-pane; several broken panes of glass were observed.

Clear anodized aluminum storefront doors and one painted steel service door are installed.

Deterioration: Window frame paint and glazing compound are in a highly degraded condition; the window frames should be restored during the reserve term. Leaks through some windows were reported. The glazing compound is buckled in places, lifting away from the steel frames and glass, allowing water to pass into the interior at the point of the failed glazing compound.

Exterior Stairways: A small set of cast-in-place concrete exterior stairs is installed at the north pedestrian entrance; there are four risers.

Fire Escapes: Two

Exterior Railings: Railings are installed on the fire escapes and at the north pedestrian entrance. Handrails are not provided on the exterior stairs. The railings provided on the landing at the front entrance are not compliant with current codes. See Section N. for our recommendation to provide general upgrades to building and site Accessibility; the provision of new railings at the north entrance is covered within the allowance for those upgrades.

Decks/Balconies: None

Comments: The fire escapes should be inspected every five years, as required in San Francisco. The last reported inspection occurred in 2024 or 2025.

Deferred maintenance of the steel window frames is abundantly evident. In some places, the rust damage appeared egregious. To return the windows to Good condition, we recommend the following:

- Remove all glass panes and old glazing compound;
- Sandblast exterior and interior sides of window frames;
- After blasting, inspect for structural damage. Apply a rust converter to any remaining rusted areas;
- Apply a zinc-based primer or epoxy primer to prevent flash rust;
- Apply new topcoat finish and reinstall glass with new glazing compound; all broken glass should be replaced.

To minimize disruption—and the accumulation of sand—at the property, the steel window frames can be removed and taken to a remote facility for blasting. If this option is chosen, powder coating, instead of conventional paint, could be explored as a finish option. Powder coating is more durable than conventional paint.

The costs for the remedial measures recommended in this section are included in the Spreadsheet. In the event that some window frames may be so badly rusted that they cannot be restored, we are including an allowance for replacement of

egregiously rust-damaged window frames as an optional Modernization line item. The more extensive perimeter walls repairs to address cracking are also included in the Modernization section.

E. ROOFING SYSTEM

OVERALL RATING: Fair to Poor with the bias towards Poor on the main roof

Code/Life Safety Issues: None

Roofing Systems: There are three flat roof areas; all have minimal slopes. The main portion of the roof is above the third floor; the roof area above the partial fourth floor is significantly smaller. The main portion of the roof has a BUR system with pea gravel ballast. There is also a stairwell and elevator machine room penthouse which has its own BUR system, as does the fourth floor roof. There is no gravel ballast on the fourth floor and penthouse roof levels.

Active leaks through the roofing systems were reported as “unknown” by the tenant. We saw no obvious evidence of such during our site visit.

The roofing systems on the fourth floor roof and the stairwell penthouse have a better general appearance than the main portion of the roof. However, owing to the unknown age and the observed condition of the roofing systems, replacement is recommended on all three roof levels. The pea gravel ballast should be reused, if possible.

Trims/Soffits/Fascia: Fair. Concrete cornice moldings are found between the first and second floors, between the second and third floors, and between the third and fourth floors. The moldings appear to be integral with the concrete perimeter walls. Numerous cracks were observed in the moldings. See our discussion of cracking in Section D. The cracks in the moldings should also be repaired; the cost for this is included within the line items for perimeter wall crack remedial measures recommend in that section. There is no additional line item to address the cracks in the cornice moldings.

Roof Drainage: On the main portion of the roof, one atrium grated roof drain is installed at the approximate mid-point of the building on its west

side. It conveys storm water via an internal downspout and underground piping to the municipal storm water system. An overflow drain is not provided. Some dead vegetation had accumulated near this drain.

There is one roof and overflow drain combination on the fourth floor roof. Interior downspouts are provided and convey storm water via underground piping to the municipal storm drain system. It is unknown where the overflow drain discharges. Some debris and grime have accumulated near this drain combination.

Sheet metal roof gutters and a wall-mounted downspout are provided on the stairwell penthouse; they convey storm water to the main portion of the roof above the third floor. The gutters and downspout should be replaced as part of the new roof installation on that level; no separate line item is listed for this in the Spreadsheet.

On the main portion of the roof, an area of longstanding ponded water was observed near the ventilation equipment at the foot of the north elevation of the partial fourth floor. Volunteer vegetation is growing in this area which has become somewhat like a swamp. The area of ponding is typically always in shadow, so accumulated water does not benefit from solar heat gain to promote evaporation. There is no roof drain in the immediate vicinity of the ponded water and the MUA unit and the exhaust fan complex serve as dams, preventing water from flowing to the single roof drain on that portion of the roof.

Skylights: On the fourth floor roof, one curb-mounted rectangular skylight is installed. Its domed, white plastic translucent lens has been defaced with graffiti. Removing the graffiti is recommended; this is a minor repair and a cost estimate is not included in the Spreadsheet.

Comments: The site was observed in dry weather. We recommend the installation of an additional roof drain to serve the area where ponded water is presently found. Additional tapered roof insulation can be added, if needed, to promote better water flow to the new drain. The cost for additional insulation is included within the line item for the new drain. This work should be conducted in

conjunction with the complete roof replacement recommended in this section.

Roof maintenance is provided on an as-needed basis.

The costs for the new roofing systems and for an additional roof drain—and additional insulation, if needed—are included in the Spreadsheet.

F. STRUCTURAL

OVERALL RATING: Good

Code/Life Safety Issues: None

Structural Frame: Construction is likely Type III-B, non-fire resistive rated, fully fire sprinklered. The building has two different structural systems. The north part of the building has cast-in-place concrete perimeter walls. Heavy wood beams and columns provide support to the wood-framed intermediate floor and roof decks.

The four-story addition has cast-in-place concrete perimeter walls, beams, and columns. Steel shear bracing is also installed in this portion of the building.

Foundation Type: The building has a crawl space foundation system with perimeter cast-in-place walls at the original building only. Continuous perimeter shallow footings and isolated spread footings at interior column locations are likely utilized. The crawl space is wood-framed. Elsewhere, a slab-on-grade foundation is installed for the addition.

Obvious Signs of Slab Settlement: Obvious signs of settlement were reported as “unknown” by the tenant.

Comments: Much of the roof, floor, and column framing is visible throughout the building. The building received seismic structural upgrades in the late 1990s. The structural steel shear bracing is readily visible. The building was likely designed and constructed in accordance with the 1906 edition of the SFBC. This is a pre-Northridge earthquake edition of the building code. The first post-Northridge building code was the 1997 Uniform Building Code (UBC). That and subsequent editions of the code

have significantly more stringent seismic resistance requirements than codes in effect before that earthquake, which occurred on January 17, 1994. The seismic bracing was likely designed in accordance with the requirement of the 1997 UBC.

In conjunction with this report, we have prepared an evaluation of the seismic performance of the building. See that report for additional information concerning the building’s structural composition and its seismic performance.

G. INTERIORS

OVERALL RATING: Generally Good

Code/Life Safety Issues: None

Common Areas: Elevator lobbies, stairwells, and restrooms are provided as common use areas should multiple tenants occupy the building.

Walls: Generally Good. The painted interior side of the concrete perimeter walls—which are often sheathed on the interior side in gypsum board—and painted gypsum board interior partition walls are provided as the interior wall finishes. Some minor deficiencies were observed on gypsum board walls such as scuff marks, scratches, and degraded paint.

Ceilings: Generally Good. The painted underside of the floor and roof slabs is the typical ceiling finish; some acoustic ceiling tile systems are also installed. Several water-stained and slightly damaged ceiling tiles were observed. The water staining is reportedly a result of HVAC system condensate. The degraded ceiling tiles should be replaced; this is a matter of routine maintenance and a cost estimate is not included in the Spreadsheet.

Flooring: Good to Fair. The floor finishes include low-pile broadloom carpet, wood plank or vinyl laminate flooring, and VCT. Minor carpet stains were observed in several locations. Some carpeting and VCT flooring have a generally run-down appearance.

Comments: Though the interior finishes are typically in Good condition, we are including—per client request—a single line item allowance to freshen the interior finishes. This allowance is included in the Spreadsheet.

H. MECHANICAL/HVAC

OVERALL RATING: Good to Poor

Code/Life Safety Issue: None

Heating/Cooling: The installed air conditioning and heating equipment follows, with year of manufacture in parentheses; the evaluated condition of the equipment is also listed:

- Two twelve ton, Carrier packaged units with natural gas-fired furnaces (1998) on main portion of roof. Poor;
- Two five ton, Carrier split system air conditioners (1998) on fourth floor roof. The current tenant did not know what part of the building these units served. It is possible these units may have served the previous tenant that once occupied the third floor, based on information found in the 2025 HVAC evaluation we reviewed. The evaporator fan coil units for these split-systems were not observed on either the third or fourth floor. Poor;
- One roof-mounted Evapco cooling tower (2015) with a cooling fan capacity of 14,160 CFM. Fair;
- One roof-mounted hot water boiler manufactured by IBC Technologies (2022) with an input heating capacity of 650,000 BTU/hr. Good;
- One Modine Weather Hawk MUA unit; the model and serial number sticker was weather-faded and illegible. Its age is presumed to be post-2010 based on paperwork found inside the MUA enclosure. Its air handling capacity is unknown. Poor;
- Various unlabeled roof-mounted ventilation fans and ductwork (unknown age). Poor;
- Six attic-mounted water-source heat pumps manufactured by Carrier (1998), each with a 2.5 ton cooling capacity. Fair—based solely on age;

- One Bosch attic-mounted water-source heat pump has been installed. It was not possible to observe the ID label of this unit during our site visit. It is likely a 2.5 ton unit. This unit is mounted on top of an older Carrier unit in a first floor attic space (2022). Good.

The twelve ton Carrier packaged units serve the third and fourth floors. The cooling tower and boiler feed a hydronic loop system serving seven water-source heat pumps in interior locations on the first and second floors. We presume that eddy current testing has not been conducted on the cooling tower; this testing is recommended.

All air conditioning equipment uses R-22 refrigerant, which is being phased-out as part of the Montreal Protocol, which the United States committed to as a collaborative, international effort to regulate and phase out ozone-depleting substances. In 2010, the U.S. called for the end of newly manufactured air conditioning units and heat pumps that use R-22 because of its particularly harmful impact on the ozone layer when released into the air. On January 1, 2020, the U.S. Environmental Protection Agency (EPA) banned the production and import of R-22. R-22 will become more scarce and costly during the evaluation period.

Ventilation: Ventilation is typically handled by the MUA unit, exhaust fans, and static vents. The packaged units can also supply outside air when weather conditions are favorable.

Comment: We use a 25-year EUL for packaged units and for the interior-mounted heat pumps and a 20-year EUL for split systems and for the cooling tower. All Carrier air conditioning units have exceeded their respective EULs. We recommend their replacement, especially since the packaged and split-system cooling units use R-22 refrigerant.

The MUA unit and the roof-mounted exhaust fans and ductwork should also be replaced. The cooling tower should have remaining useful life over the reserve term if timely preventive maintenance practices are followed; its replacement is listed as an optional Modernization expense in the event of its premature failure.

The age of the Bell & Gossett pumps that serve the hydronic loop system is unknown. Replacement is recommended as a Modernization line item in the event of failure during the reserve term. This is not predictive, but a recommendation made for informational purposes should one or both of the units fail over the next five years.

Cost estimates to replace the HVAC equipment and for eddy current testing of the cooling tower are included in the Spreadsheet. Replacement of the cooling tower and hydronic loop pumps is listed as optional Modernization expenses.

I. ELECTRICAL

OVERALL RATING: Good

Code/Life Safety Issues: Stored items are leaning against and placed too close to the main electrical service equipment enclosures; these items should be removed. This is a matter of routine maintenance and a cost estimate is not included in the Spreadsheet.

Wiring: Copper wire-in-conduit systems are installed.

Electrical Capacity: PG&E provides 208Y/120 volt three-phase, four-wire service to the property from a pad-mounted transformer near the southeast corner of the site in the parking area. The main service entrance equipment is found in a dedicated service room on the first floor.

Distribution System: The 1,600 amp Square D main service entrance equipment was installed in 1998, according to PG&E service tags. Square D branch circuit breaker sub-panels are also installed and appear to also date from 1998, though they carry no identifying labels.

GFCI Outlets: These outlets were observed in required wet and exterior locations.

Comments: We did not remove any electrical enclosure covers during the site visit. Infrared scanning of the electrical distribution systems has not been performed; scanning should be conducted on a triennial basis as recommended by National Fire Protection Association (NFPA) 70B (Recommended Practice for Electrical Equipment Maintenance).

A cost estimate to provide infrared scanning is included in the Spreadsheet.

J. GAS

OVERALL RATING: Generally Good

Code/Life Safety Issues: The gas service line lacks an automatic seismic shut-off valve at the meter station. Installation of the valve is recommended for improved seismic safety.

Comment: Natural gas service from PG&E is provided to the property to the gas meter station, which is found in an exterior location adjacent to the south perimeter wall in the parking area. The meter station is protected from vehicular contact by concrete-filled steel bollards. Natural gas is consumed by the packaged units, boiler, and domestic water heater.

Flexible gas line connections are provided to the gas-fired equipment on the packaged units and the water heater. The boiler has a rigid gas line connection. We recommend that a flexible gas line be installed for improved seismic safety.

Per the tenant, there have been no known underground gas line replacements during their occupancy.

Cost estimates to install an automatic seismic shutoff valve and for a flexible gas line connection on the boiler are included in the Spreadsheet.

K. PLUMBING

OVERALL RATING: Good

Code/Life Safety Issues: None

Water Lines: Copper

Drain Lines: Hubless cast iron above ground. Underground sewer lines are presumably hubbed cast iron.

Water Heaters: One residential tank-type water heater is installed in a service closet in the fourth floor restroom. The unit is natural gas-fired and has a 40 gallon capacity. A flexible gas line connection is

provided, as are compliant seismic strapping and a pan drain. Based on information on the ID label, the water heater was manufactured in 2021.

Comments: The water meters are in sidewalk vaults along Harrison Street; no vault covers were removed during our site visit.

We assign tank-type water heaters a 15-year EUL. The installed unit should have an effective life through the reserve term, barring unforeseen premature failure.

As discussed in the Regulatory Review section of this report, we recommend that a sewer line video snake inspection be conducted; a cost estimate is included in the Spreadsheet. See Section B. for additional information on the municipal sewer lines.

L. FIRE/LIFE SAFETY EQUIPMENT

OVERALL RATING: Fair to Poor with the bias towards Poor

Code/Life Safety Issues: All observed fire extinguishers had expired or absent inspection tags. The fire alarm system does not meet current Accessibility requirements for alarm device placements. Many if not most of the sprinkler heads are reportedly over 50 years old and likely require replacement.

Fire Sprinkler System: Reportedly fully fire sprinklered

Annual Sprinkler Certification: Expired

Five-year Sprinkler Certification: Expired

Central Fire Alarm Control Panel: Yes

Current Alarm System Inspection: There is a Fire Department sticker on the FACP indicating that the alarm is out of service.

Recalled or Expired Sprinkler Heads: Yes. The majority of the sprinkler heads are reported to be more than 50 years old, making them beyond their EUL. At a minimum, we suggest that a sampling of the older heads be tested. Alternatively, we are listing an optional Modernization expense to replace the older heads throughout the building. This is an order-of-magnitude allowance since the actual number of time-expired heads is unknown.

Smoke Detectors: Yes. These should be replaced as part of the fire systems upgrades recommended in this section.

Fire Extinguishers: Yes. All observed extinguishers had expired or absent inspection tags. All fire extinguisher should be inspected annually as required by code.

Fire Escapes: Yes. Reportedly last inspected in 2024 or 2025. San Francisco requires fire escape inspection on a five-year schedule; the inspection status is current.

Exit Signs: Illuminated exit signs with battery back-up power are provided; all observed units appeared functional.

Comments: The fire alarm device placements in this building do not meet current Accessibility requirements. Horn/strobe alarm devices, for example are not installed in most required locations, including in restrooms. We recommend a fully compliant fire alarm system be installed.

It is unknown if any sprinkler pipes or heads have been replaced during the current tenant's occupancy.

The FACP is a Silent Knight 5207. This eight-zone model is no longer in production and supported by the manufacturer. It appears new replacement parts are generally not available, though used or refurbished parts can be found. Only new battery packs appear to still be available; new integrated circuit boards are not. Since the panel is obsolete and has exceeded its nominal EUL of ten years, we recommend its replacement.

We further recommend that the fire alarm system be upgraded to provide a full Accessibility compliant system throughout the building. This upgrade shall include an adequate number of phone lines to provide required central station communications capability. The fire alarm system upgrades should also include remedial measures to address any fire door deficiencies, as outlined in the 2025 Marx|Okubo fire systems evaluation.

Valid stickers for the required five-year and annual fire sprinkler inspections were not observed; we

recommend these inspections be conducted on their prescribed schedules. The annual fire alarm inspection should also be conducted, as required.

The various fire safety systems inspections should become a matter of routine maintenance at the prescribed intervals.

The sprinkler riser lacks a metallic tag indicating its design specifications. This likely indicates that the sprinkler system is an older pipe schedule method design; these systems do not carry the metallic tags that are found on the riser of systems using the current hydraulic calculation method of sprinkler system design.

Cost estimates for recommendations made in this section are included in the Spreadsheet.

M. VERTICAL TRANSPORTATION

OVERALL RATING: Good to Fair

Code / Life Safety Issues: The permit on display in the elevator cab has expired, as has the permit for the wheelchair lift. This is common in California as the State required inspections for vertical conveyance systems typically run months, if not even years, behind schedule. We recommend that both inspections be requested. These inspections should become a matter of routine maintenance. Contact Vintage Elevator Service about requesting the State inspections.

Number of Elevator Cabs: One

Permit Expiration:

Elevator: February 17, 2018

Wheelchair lift: May 20, 2022

Comment: Five-year load tests are current for the elevator and the lift.

One hydraulic passenger elevator is installed. A digital controller is provided. We assume that the permit on display in the elevator cab is actually that for the wheelchair lift. The cab permit indicates that the conveyance system has a capacity of 750 lbs and has as a screw-drive machine mechanism. Those describe the lift, not the elevator, which is hydraulic and likely has a capacity greater than 750 lb.

The elevator has door closure arrestors that require physical contact to activate; there are no light sensors for the doors. As a minimum upgrade, we recommend that contactless door closure arrestors be installed.

We typically assign a 20-year EUL for elevators and their control equipment. The elevator and the hydraulic equipment—manufactured by US Elevator Company—and the digital controller—manufactured by Elevator Controls Corporation—were reportedly installed in 1998. Owing to the age, physical appearance, and condition of the elevator, we recommend as an optional Modernization expense that complete rehabilitation of the elevator, hydraulic machine equipment, and controller be performed. This includes—but is not limited to—cab interior finishes and lighting, cab control panel, hands-free communication system, wall-mounted floor call panels and indicators, floor designation signage, audible tones, and cab direction indicators, as needed. Door closure arrestors, new machine equipment, and a new digital controller should also be provided. The rehabilitated elevator should be as compliant with current Accessibility codes as feasible.

Cost estimates for the required annual elevator and lift inspections and to install the door closure arrestors are included in the Spreadsheet. The elevator upgrades are listed in the optional Modernization category as a single line item.

N. ACCESSIBILITY COMPLIANCE

While some references to Disabled Accessibility issues may be made, this report is not intended to be a complete investigation for conformance to the ADA or any other State Accessibility standards. Such an investigation is beyond the scope of work for this report. No measurements were taken to confirm whether a building element is or is not in conformance with applicable Accessibility codes.

Accessible Parking Conforms to Code: No.

Interior Path-of-Travel Generally Compliant:
Yes

Plumbing & Restroom Facilities Generally Compliant:
Yes, though horn/strobe alarm devices are not

installed. (See Section L. for our recommendation concerning alarm device placement upgrades.) The shower on the fourth floor is not Accessibility compliant.

Comments: One Accessible parking stall is provided. Two Accessible stalls are required, one of which shall be Van Accessible. Required Accessibility signage is not installed. The pavement markings are in a degraded condition and should be restriped, as recommended in Section C.

We are including a single line item allowance in the Spreadsheet to provide a higher level of compliance with current Accessibility requirements than that which currently exists. As noted in Section D. these upgrades should include the installation of new railings at the north pedestrian entrance. We make no recommendation concerning the addition of a second Accessible parking stall, as required by current code. It is conceivable that SFDBI could grant a hardship exemption for providing the second Accessible stall owing to the small dimensions of the parking lot. However, this is merely speculation, as it is not possible to foresee how SFDBI would decide on an exemption to provide a second Accessible parking stall.

V. CONSULTANT'S QUALIFIERS

A. SCOPE OF WORK

Ryan Miller Architects was retained to assess the existing site physical condition, improvements, and building at the subject property; perform limited research of available records; and interview individuals familiar with the facility operations. We were tasked to identify construction and/or code deficiencies and prepare a five-year spreadsheet for immediate and replacement reserve expenditures.

B. METHODOLOGY

It is not within the scope of work for this short-form Property Condition Assessment to extensively review building permits and other documents provided by the City of San Francisco with the exception of a cursory review of building permit information available online. Ryan Miller Architects reviewed information and documents available online from

the Building and the Planning Departments. Violations research with those departments and with the Fire Department was not conducted, other than a cursory review of online information for building department violations, if available.

We used industry standard cost estimating guides such as Current Costs by Saylor Publications, as well as our experience and judgment. We conduct spot-check pricing and uses prices provided by local general contractors.

In preparing the report, we utilized industry standard guidelines as a basis for our inquiry including the "Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process," outlined in ASTM E2018-24.

C. ASSESSMENT CRITERIA

In evaluating the property, Excellent is the best maintained property condition or new construction, with all the building equipment operational and no repairs necessary. A Good rating is for a condition that demonstrates consistent building maintenance and grounds, and all the building equipment in sound operating condition, with only a few minor repairs needed. A Fair rating is for a condition that demonstrates some wear or damage present in the building and/or grounds elements, requiring repair or replacement work. A Poor rating is for a condition that is clearly the worst, with a uniform run-down appearance, damaged building elements, or inoperable building systems present.

D. PREVIOUS REPORTS & INFORMATION SOURCES

- A previous overall Property Condition Assessment report was not provided;
- A fire system analysis prepared by Marx | Okubo, dated April 16, 2025, was provided;
- An electrical system analysis prepared by Sierra Electric, dated April 17, 2025, was provided;

- A mechanical and plumbing system analysis prepared by City Mechanical, dated April 17, 2025, was provided;
- A roof condition synopsis prepared by RDH Building Science, dated May 16, 2025, was provided;
- Inspection information for FLS systems was observed on site;
- Inspection information for vertical conveyance systems was observed on site;
- The due diligence questions submitted to the tenant were returned with responses.

E. LIMITING CONDITIONS

We entered and observed the interior of the subject property. We accessed all floors. We directly accessed the roofs above the third and fourth floors. We observed the stairwell penthouse roof from the fourth floor roof. We observed all rooftop HVAC equipment and some of the attic-mounted HVAC units. We accessed the main electrical service entrance equipment and the elevator machine room. We observed the elevator pit. We observed the branch circuit breaker sub-panels and the gas meter station. We observed the water heater. The water meters were not observed. Vault covers were not removed.

During the preparation of this report:

- Original construction drawings were not provided;
- Maintenance documents for the HVAC equipment were not provided;
- HVAC equipment warranties have expired;
- An ALTA survey was not provided;
- An ADA survey was not provided;
- A rent roll was not provided; the building is currently occupied by a single tenant;

- Roof warranties were not provided and have likely expired;
- HVAC equipment warranties have expired;
- Information about the age and maintenance history of the roofing system was not provided;
- Contracts or proposals for planned repairs were not provided;
- Historical repair, replacement, or improvement costs were not provided;
- Vendor service agreements were not provided;
- Building, Planning, and Fire Department information was not researched beyond a cursory investigation of information available online;
- Research for Certificates of Final Completion or Certificates of Occupancy was not conducted.

No appraisal was provided for the subject property. Quantities were arrived at with input from the property tenant and our own observations and calculations. We relied upon field observations and measurements. We recommend that, if feasible and permissible, all building materials or finishes be replaced in kind. We did not operate any building systems or equipment and did not perform any tests. This report does not confirm the presence or absence of hazardous materials.

This evaluation represents our opinion based on our site observations. It should be recognized that items other than those specifically identified in this report, might require repair or replacement.

Furthermore, this review is not intended to preempt in any way the technical or professional responsibility of the original design consultants. The inspection procedures do not address termite or environmental inspection. The investigation scope was limited to accessible building areas, structure, and its components. Physical removal of wall panels

or similar items was not performed to determine structural soundness or equipment reliability.

Ryan Miller Architects has assessed the subject property, both the land and the improvements thereon, where applicable. It is impossible to observe conditions that may exist below the surface or that may be hidden within the structure of the improvements. Therefore, it cannot be guaranteed that hidden or unexpected problems with the facility's structural integrity or soil conditions do not exist.

The inspection findings contained in this report are based upon quantitative and qualitative factors that exist on the inspection date. There can be no assurance that intervening factors will not affect the report's conclusions.

Sketches, floor plans, and maps used in this report are included to aid the reader's visual understanding and should not be considered surveys or engineering studies. All dimensions and estimates of building size, net or gross, are approximations.

This report is intended only for the internal use of the addressee or their authorized representative, and possession does not imply the right of publication or use for any other purpose without the written consent of Ryan Miller Architects.

Neither all nor part of this report shall be conveyed to the public through advertising, public relations, news, sales, or other media without the prior written consent of Ryan Miller Architects.

This report is not intended to be taken, in any manner, to include any critique or evaluation of the design concept, or the structural, mechanical, or electrical systems, which may be incorporated into the subject property. It is not intended to be an opinion with respect to any legal relationship or responsibilities between the architect, the engineers, the contractor, or the subject property owner. While Ryan Miller Architects has reviewed some documents our statements are not intentional legal opinions. In making this review and preceding on-site inspection, Ryan Miller Architects does not assume any legal responsibilities for the design architects, engineers, or contractors for the subject property, nor is any other warranty or

representation expressed or implied, included or intended.

We did not conduct exhaustive research at municipal offices for fire, life safety, building permit, code compliance, or any other material matter. A cursory review of property information and building permit records from the Building and Planning Departments was conducted.

F. CONSULTANT QUALIFICATION

Ryan Miller is a California Licensed Architect with more than 40 years of related experience.

Charles Bucher is a California Licensed Architect with more than 27 years of related experience.

G. RELIANCE LANGUAGE

This report was prepared for the sole and exclusive use of University Games, the only intended beneficiary of this work. No excerpts may be taken as representative of the findings of this assessment. The scope of services performed in the execution of this investigation may not be appropriate to satisfy other users, and any use or reuse of this document or its findings, conclusions, and recommendations is at the user's sole risk.

The information contained in this report has received appropriate technical review and approval. The conclusions represent professional judgments and are founded upon the investigation findings identified in the report and the interpretation of such data based on our experience and expertise according to the existing standard of care. No other warranty or limitation exists, either expressed or implied.

Our opinion of probable costs has been prepared solely as a general reference document for the use of University Games. Our estimate has not been prepared by a cost estimator or contractor and as such should not be considered a guaranteed maximum of costs. Our estimate has been prepared to meet the unique needs of University Games. No other parties may rely on the estimate without our consent. This report is not a specification for further work and is not intended as a substitute RFP. All area costs, unit costs, and line item estimates are order-of-magnitude only.

Neither Ryan Miller Architects nor any staff member assigned to this project has any interest, financial or otherwise, in the subject or surrounding properties, or in any entity which owns, leases, or occupies the subject or surrounding properties, or which may be responsible for issues identified during the course of this investigation, and has no personal bias with respect to the parties involved.

**IMMEDIATE NEEDS &
REPLACEMENT RESERVES
SPREADSHEET**

IMMEDIATE NEEDS & REPLACEMENT RESERVES

2030 Harrison Street

San Francisco, California

RYAN MILLER

ARCHITECTS

Project No:	26008.61
Bldg Age in Years:	119
No. of Floors:	3 + Partial 4th
Approximate Gross Area:	26,320

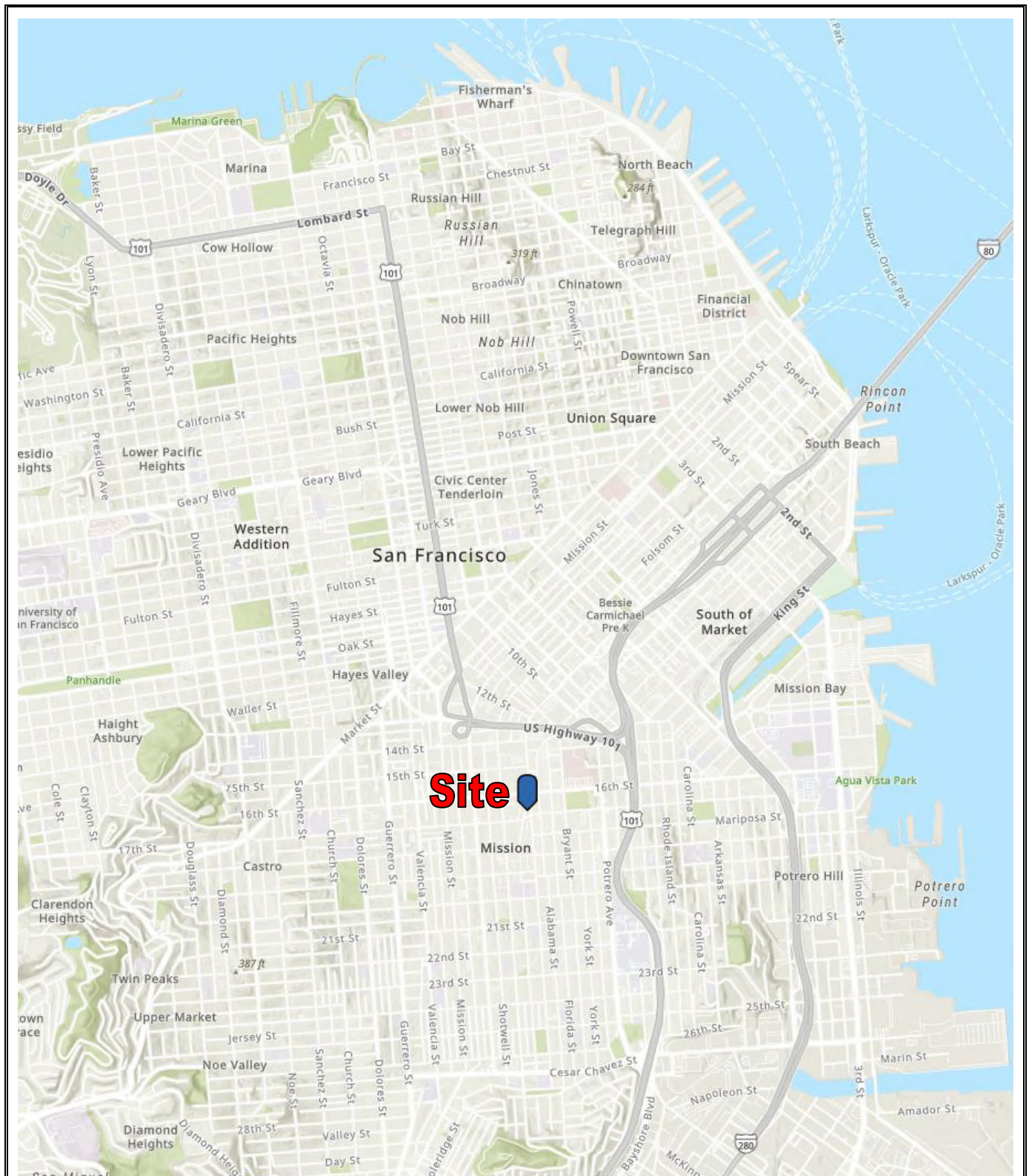
No	Sec	Photos		Avg EUL (yr)	EFF AGE (yr)	Nominal RUL (yr)	Quantity	Unit	Cost Estimate Source	Unit Cost	Immediate Needs	Replacement Reserves					Years 1-5 Cumulative	Modernization Costs (Optional)					
												2026 Year 1	2027 Year 2	2028 Year 3	2029 Year 4	2030 Year 5							
SITE DEVELOPMENT																							
1	B.	12, 15, 18	MODERNIZATION: Replace chain-link fencing and gates.	N/A	N/A	N/A	1	LS	Allowance	\$8,000.00													
2	B.	19, 20	Provide remedial measures to address tripping hazards and degraded condition of concrete site work, including concrete grinding and complete replacement of some concrete sidewalk panels.	N/A	N/A	N/A	1	LS	Allowance	\$35,000.00	\$35,000												
3	C.	7-11	Provide minor and full-depth asphalt repairs in parking lot.	N/A	N/A	N/A	1	LS	Allowance	\$6,500.00													
4	C.	7-11	Reseal asphalt paving.	5	UNK	0	4,200	SF	Estimate	\$0.28													
5	C.	10	Restripe standard (non-Accessible) parking stalls.	5	UNK	0	6	EA	Estimate	\$16.00													
6	C.	7	Restripe Accessible parking stall and access aisle.	5	UNK	0	1	EA	Estimate	\$140.00													
EXTERIOR ENVELOPE																							
7	D.	95, 96, 103, 106	Clean and dress all exterior cracks in perimeter concrete walls, followed by the application of a crystalline, penetrating concrete sealant, such as Xypex.	N/A	N/A	N/A	1	LS	Allowance	\$75,000.00													
8	D.	95, 96, 103, 106	Provide patch repairs on cracks in conjunction with above recommendation for the application of Xypex.	N/A	N/A	N/A	1	LS	Allowance	\$100,000.00													
9	D.	95, 96, 103, 106	MODERNIZATION: Allowance to provide extensive crack repairs in perimeter walls to forestall possible structural damage.	N/A	N/A	N/A	1	LS	Allowance	\$1,600,000.00													
10	D.	1-6	Provide complete exterior repainting, except for window frames.	10	UNK	0	17,500	SF	Estimate	\$7.50													
11	D.	98-101	Provide remedial measures to restore steel window frames to "Good condition.	N/A	N/A	N/A	109	EA	Estimate	\$8,750.00													
12	D.	98-101	MODERNIZATION: Allowance to replace rust-damaged window frames that cannot be restored.	N/A	N/A	N/A	1	LS	Estimate	\$100,000.00													
ROOF																							
13	E.	21-32	Provide new roofing systems on all three roof levels.	UNK	20	0	10,400	SF	Estimate	\$23.50													
14	E.	24	Main roof: Install new roof drain to promote better drainage of area of chronically ponded water.	N/A	N/A	N/A	1	LS	Allowance	\$20,000.00													
INTERIOR FINISHES																							
15	G.	67-94	Allowance for performance of minor repairs and general renovation of interior finishes.	N/A	N/A	N/A	1	LS	Allowance	\$50,000.00													
MEP & FLS SYSTEMS																							
16	H.	33, 34	Replace two 12 ton packaged units.	25	28	0	24	Tons	Estimate	\$3,300.00													
17	H.	43, 44	Replace two 5 ton split-system air conditioners.	20	28	0	10	Tons	Estimate	\$2,900.00													
18	H.	35, 36	MODERNIZATION: Replace cooling tower in event of premature failure.	20	11	UNK	1	LS	Allowance	\$125,000.00													
19	H.	42	MODERNIZATION: Replace pumps for hydronic loop system in the event of failure during the reserve term.	20	UNK	UNK	2	EA	Estimate	\$10,000.00													
20	H.	35, 36	Conduct eddy current testing of the cooling tower on a three-year schedule.	N/A	N/A	N/A	1	LS	Estimate	\$3,500.00													
21	H.	39	Replace make-up air unit.	20	UNK	0	1	LS	Allowance	\$10,000.00													
22	H.	40	Replace rooftop exhaust fan and ductwork complex.	30	UNK	0	1	LS	Allowance	\$11,000.00													
23	H.	45, 46	Replace six Carrier attic-mounted water source heat pumps.	25	28	UNK	6	EA	Estimate	\$10,000.00													
24	I.	48, 49	Perform infrared scanning of the electrical distribution equipment on a three-year schedule.	3	N/A	0	1	LS	Allowance	\$1,750.00													
25	J.	107	Install an automatic seismic shutoff valve on the gas service.	N/A	N/A	N/A	1	LS	Allowance	\$750.00													
26	J.	108	For improved seismic safety, install a flexible gas line connection on boiler.	N/A	N/A	N/A	1	LS	Allowance	\$1,000.00													
27	K.	—	Conduct a video snake inspection of the underground sewer lines by a licensed plumber.	N/A	N/A	N/A	1	LS	Allowance	\$1,000.00													
28	L.	59	Inspect all fire extinguishers, as required by code.	N/A	N/A	N/A	1	LS	Allowance	\$700.00													
29	L.	53, 54	Provide new FACP.	N/A	N/A	N/A	1	LS	Allowance	\$17,000.00													
30	L.	55, 56	Provide upgrades to provide an alarm system that is fully compliant with current Accessibility codes.	N/A	N/A	N/A	1	LS	Allowance	\$50,000.00													
31	L.	57	Conduct 5-year NFPA fire sprinkler inspection.	5	6	0	1	LS	Estimate	\$2,000.00	\$2,000												
32	L.	57	Conduct annual NFPA fire sprinkler inspection.	1	UNK	UNK	1	LS	Estimate	\$1,200.00	\$1,200												
33	L.	53, 54	Conduct annual fire alarm system inspection.	10	20	0	1	EA	Estimate	\$1,500.00	\$1,500												
34	L.	58	Conduct sample testing of older fire sprinkler heads.	N/A	N/A	N/A	1	LS	Allowance	\$3,500.00													
35	L.	58	MODERNIZATION: Replace all older fire sprinkler heads.	N/A	N/A	N/A	1	LS	Allowance	\$50,000.00													
36	M.	60-65	Conduct annual State elevator inspection.	1	UNK	UNK	1	LS	Allowance	\$1,850.00	\$1,850												
37	M.	65, 112	Conduct annual State wheelchair lift inspection.	1	4	0	1	LS	Allowance	\$750.00	\$750												
38	M.	64	Provide elevator door closure arrestors that do not require physical contact.	N/A	N/A	N/A	1	LS	Allowance	\$8,750.00													
39	M.	60-65	MODERNIZATION: Provide complete upgrades to the elevator, including the cab finishes and control panel, the machine equipment, the controller, and signaling devices.	N/A	N/A	N/A	1	LS	Allowance	\$400,000.00													
ACCESSIBILITY																							
40	N.	—	Provide site and building upgrades to achieve a higher level of Accessibility compliance than that which currently exists.	N/A	N/A	N/A	1	EA	Allowance	\$30,000.00													
ABBREVIATIONS:												\$42,300											
LS = Lump Sum Allowance												Sub-Total											
EA = Each												2.5% Inflation Factor per Year											
SF = Square Foot												Inflation Amount											
RUL = Remaining Useful Life												Total with Inflation											
EFF AGE = Effective Age												\$1,946,973											
UNK = Unknown																							
V = Various																							
N/A = Not Applicable or Not Assessable																							
EUL = Expected Useful Life																							
TOTAL MODERNIZATION COSTS (Optional)																			\$2,303,000				

FIGURES



**San Francisco,
California**

REGIONAL MAP	Scale: NTS Date: April 11, 2026 Photo ID: Gisgeography	N↑
RYAN MILLER ARCHITECTS	Site Address: 2030 Harrison Street San Francisco, CA Project Number: 26008.61	



VICINITY MAP

Scale: NTS
Date: April 11, 2026
Photo ID: ArcGIS



RYAN MILLER

ARCHITECTS

Site Address: 2030 Harrison Street
San Francisco, CA

Project Number: 26008.61



AERIAL PHOTOGRAPH		Scale: NTS Date: April 11, 2026 Photo ID No.: USGS (via Google Earth)	N↑
	RYAN MILLER ARCHITECTS	Site Address: 2030 Harrison Street San Francisco, California Project Number: 26008.61	

PHOTOGRAPHS



1. The building was constructed in 1907.



2. East elevation along Harrison Street.



3. Lower portion of the north elevation and primary pedestrian entrance.



4. West elevation along Treat Avenue.



5. South elevation along 17th Street.



6. East elevation with partial fourth floor and stairwell penthouse shown.



7. The small parking lot is located on the south end of the parcel. Accessible parking stall and access aisle in background.



8. The asphalt-paved parking lot is in a generally run-down condition with cracking and surface degradation prevalent.



9. Alligator cracking and a depression in asphalt paving.



10. The parking stall pavement markings are in a degraded condition.



11. One grated drain inlet is provided in the parking lot. Degraded condition of asphalt paving also shown.



12. The chain-link fencing has an overall run-down appearance. Rust was observed on fencing.



13. The secondary pedestrian entrance on the east elevation serves as an Accessible entrance. ISA signage is not provided at this entrance.



14. Painted service doors on west elevation.



15. Volunteer vegetation should be removed as part of routine maintenance.



16. Public sidewalk at north end of site and along east elevation.



17. Public sidewalk along west elevation.



18. Public sidewalk at south end of site. Chain-link fencing also shown.



19. Tripping hazards were observed in several locations. Green paint denotes the tripping hazards. Southwest corner of site shown.



20. Tripping hazards were observed in several locations. Sidewalk along west elevation shown.



21. Main roof: The BUR system has pea gravel ballast.



22. Main roof: At the far north end of the building, the pea gravel is not provided.



23. Main roof: Low parapets are provided.



24. Main roof: Only one roof drain serves this level of the roof.



25. Main roof: The age of the roofing system is unknown; replacement is recommended.



26. Main roof: An area of longstanding ponded water is present.



27. Fourth floor roof: The BUR system on this roof level does not have gravel ballast.



28. Fourth floor roof: The age of the roofing system is unknown; replacement is recommended.



29. Fourth floor roof: Only one skylight is installed on this building.



30. Fourth floor roof: A roof and overflow drain combination is provided.



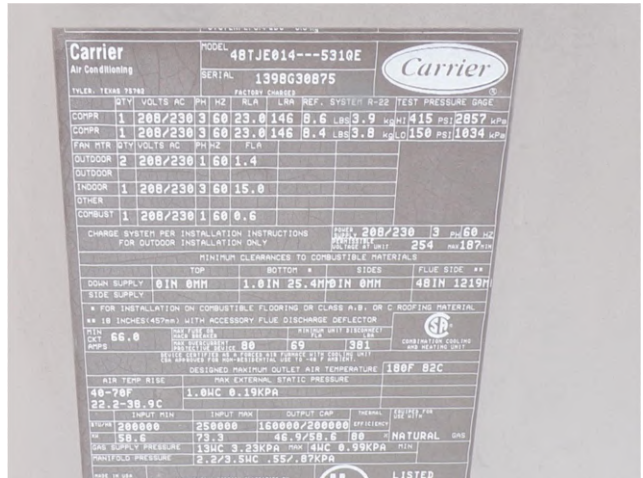
31. Fourth floor roof: Fire department connections. This roof level has taller parapets.



32. Penthouse: The BUR system on this roof level does not have gravel ballast.



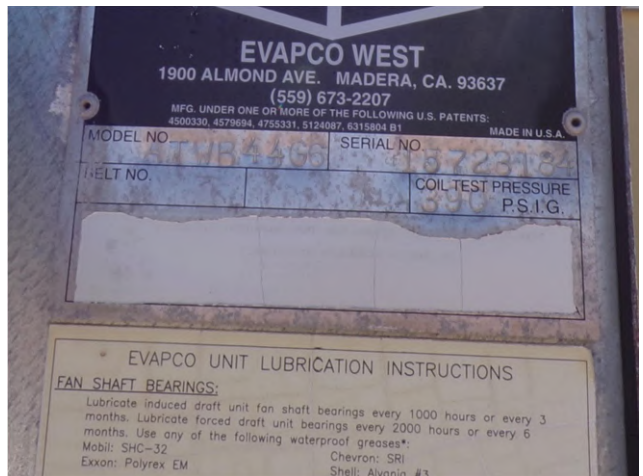
33. Two 12 ton Carrier packaged units are mounted on the main roof level.



34. Both packaged units were manufactured in 1998.



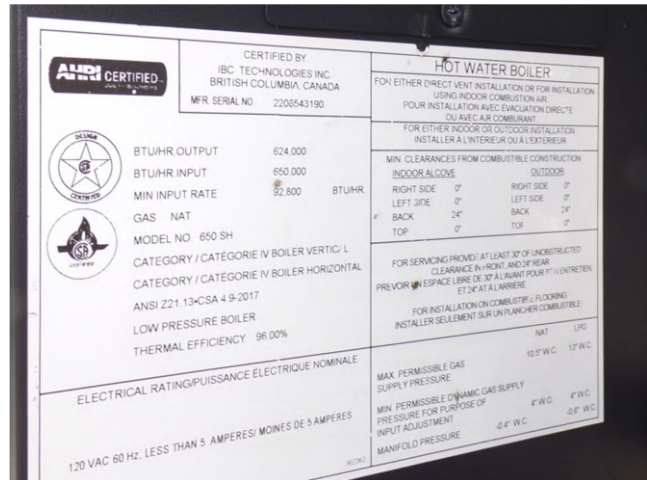
35. The Evapco cooling tower provides chilled water to the hydronic loop system.



36. The cooling tower was manufactured in 2015.



37. The IBC Technologies boiler provides hot water to the hydronic loop system.



38. The hot water boiler was manufactured in 2022.



39. The age of the Modine make-up air unit is unknown. Replacement is recommended.



40. The age of the ventilation fan complex is unknown. Replacement is recommended.



41. Rooftop piping for the hydronic loop system.



42. Two Bell & Gossett pumps serve the hydronic loop system.



43. Two five ton Carrier splits systems are installed on the fourth floor roof.



44. Both Carrier split systems were manufactured in 1998.



45. Seven water source heat pumps are installed in attic locations on the first and second floors.



46. The six Carrier heat pumps were manufactured in 1998.



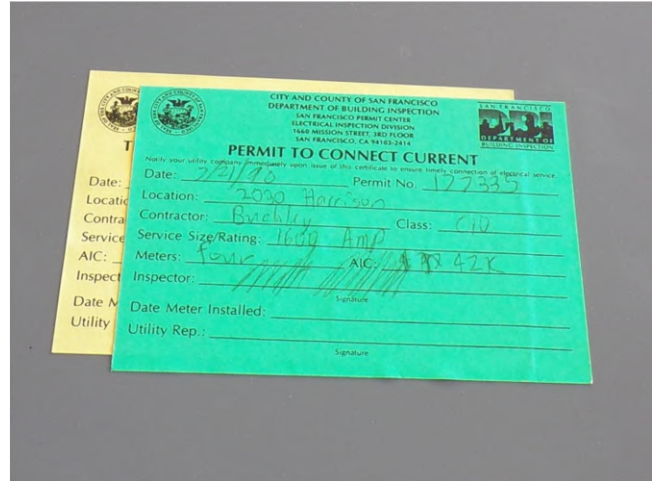
47. In 2022, a Bosch water source heat pump was installed atop an older Carrier unit.



48. The 1,600 amp capacity main electrical service equipment was manufactured by Square D.



49. The 1,600 amp main disconnect.



50. The Square D electrical equipment was installed in 1998.



51. Items stored near or leaning on main electrical service equipment should be removed.



52. The natural gas-fired water heater is located in a service closet in a fourth floor restroom.



53. The FACP is a Silent Knight model 5207; it is out of production and obsolete.



54. The fire alarm system is out of service owing to telephone line issues.



55. Fire alarm devices, such as the horn/strobe shown, are not provided in all required locations.



56. One manual pull station was observed.



57. Five-year and annual NFPA fire sprinkler system inspections should be conducted, as required.



58. A box of spare sprinkler heads is provided.



59. All observed fire extinguishers had expired tags or the tags were absent, as shown.



60. Elevator control panel in cab.



61. Hands-free communication device in elevator.



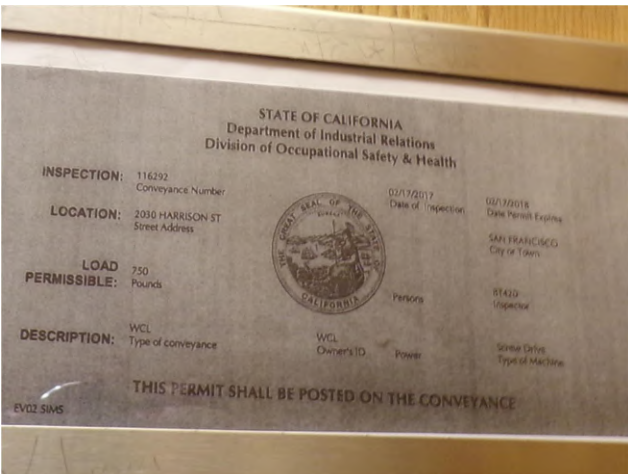
62. Hydraulic pump for elevator. The elevator and its hydraulic equipment date to 1998.



63. The digital control panel for elevator dates to 1998.



64. The installed door closure arrestors require physical contact. Replacement is recommended.



65. The permit on display in the elevator cab expired on February 17, 2018. We assume this is actually the permit for the wheelchair lift.



66. Wheelchair lift.



67. First floor: Interior finishes and fixtures in open office area.



68. First floor: Interior finishes and fixtures in large foyer at main entrance.



69. First floor: Interior finishes and fixtures in breakroom.



70. First floor: Interior finishes and fixtures in storage room.



71. Second floor: Interior finishes and fixtures in open office area.



72. Second floor: Interior finishes and fixtures in open office area.



73. Second floor: Interior finishes and fixtures in conference room.



74. Second floor: Interior finishes and fixtures in private office.



75. Third floor: Interior finishes and fixtures in open office area.



76. Third floor: Interior finishes and fixtures in private office.



77. Third floor: Interior finishes and fixtures in private office.



78. Third floor: Interior finishes in private office.



79. Fourth floor: Interior finishes and fixtures in private office.



80. Fourth floor: Interior finishes and fixtures in private office.



81. Fourth floor: Interior finishes and fixtures in private office.



82. Fourth floor: Interior finishes in private office.



83. Formal stairs in open office area.



84. Service stairs.



85. Interior finishes and fixtures in restrooms.



86. Interior finishes and fixtures in restrooms.



87. Interior finishes and fixtures in restrooms.



88. Interior finishes and fixtures in restrooms.



89. Interior finishes and fixtures in restrooms.



90. Interior finishes and fixtures in restrooms.



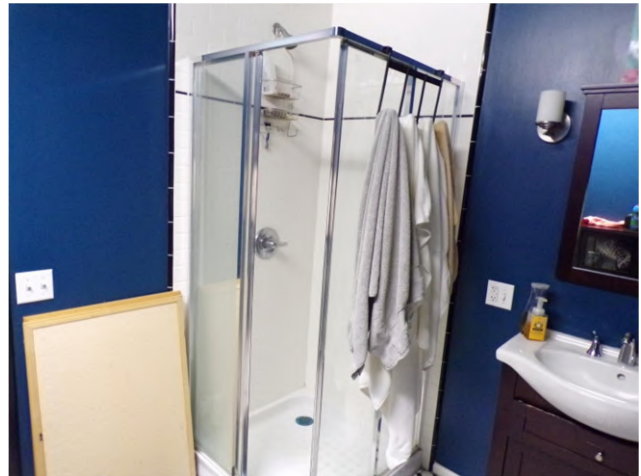
91. Interior finishes and fixtures in restrooms.



92. Interior finishes and fixtures in restrooms.



93. Interior finishes and fixtures in restrooms.



94. Interior finishes and fixtures in restrooms. Shower on fourth floor shown.



95. Concrete cracks and degraded condition of exterior paint finishes.



96. Concrete cracks and degraded condition of exterior paint finishes.



97. On the fourth floor, there is interior side evidence of water penetration through the perimeter concrete walls. Treatment with Xypex is recommended.



98. Rust is prevalent on the steel window frames.



99. Rust is prevalent on the steel window frames.



100. We recommend that the steel window frames be restored.



101. On the second floor, there is interior side evidence of water penetration through the windows. Buckled glazing compound shown.



102. Degraded condition of exterior finishes with cracks shown.



103. Degraded condition of exterior finishes with cracks shown.



104. Degraded condition of exterior finishes with cracks shown.



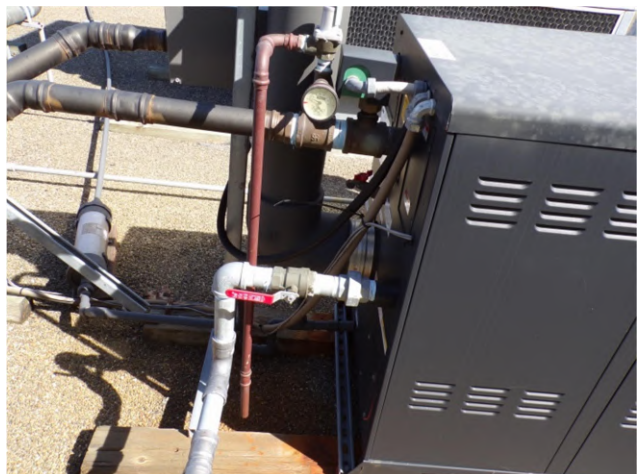
105. Degraded condition of exterior finishes with degraded paint and spalled concrete ledge shown.



106. Degraded condition of exterior finishes with degraded paint shown.



107. The gas service line is not fitted with an automatic seismic shutoff valve.



108. The boiler has a rigid gas line connection.



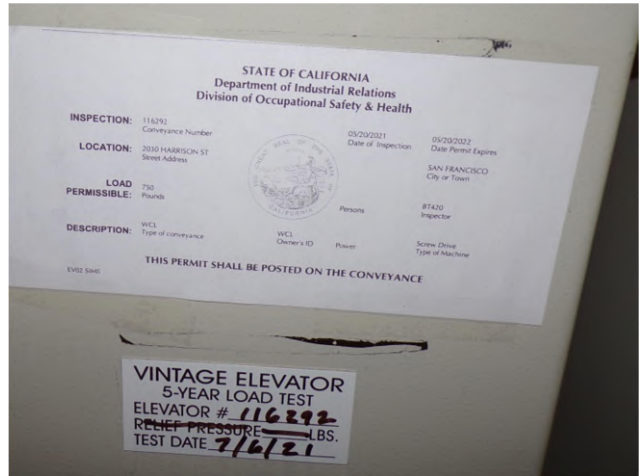
109. Earlier in the week of our site visit, minor flooding up through the floor drains occurred.



110. The San Francisco Public Utilities Commission has scheduled municipal sewer line replacements under Harrison Street.

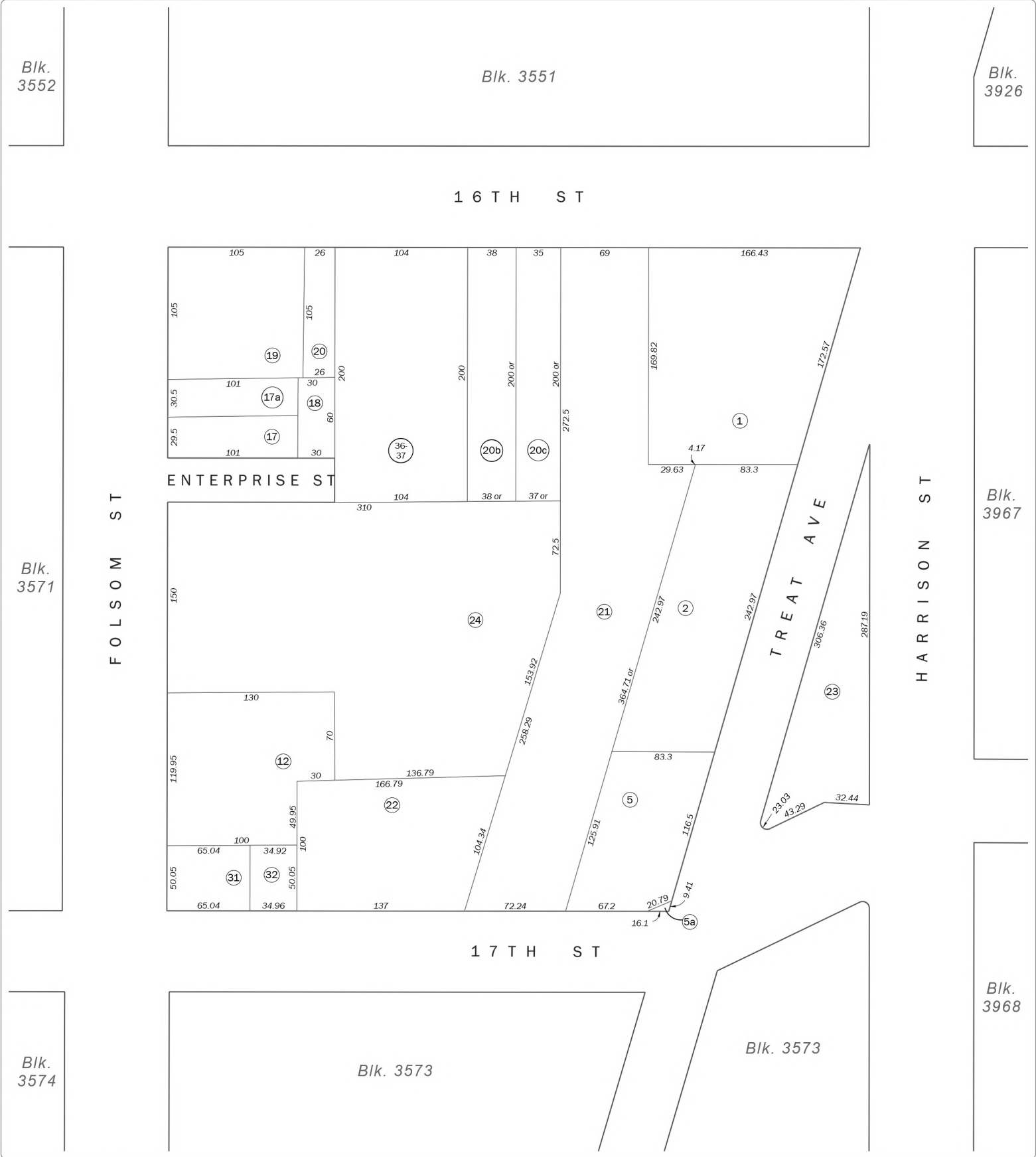


111. The elevator pit with hydraulic equipment.



112. The wheelchair lift permit expired on May 20, 2022.

APPENDIX A

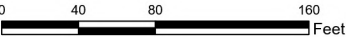


SAN FRANCISCO CITY & COUNTY
ASSESSOR'S BLOCK MAP

DISCLAIMER: THIS MAP WAS PREPARED FOR ASSESSMENT
PURPOSES ONLY. ASSESSOR'S PARCELS MAY NOT COMPLY
WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.



REVISED 2025



Revision History

From Lot	Change	To Lot	Year
13-14	into	12	1942
6A	into	7	1951
6-7	into	21	1958
7A, 8-9	into	22	1958
3, 4, 4A	into	23	1964
16	into	STREET	1969
7B, 15	into	24	1973
10-11	into	31-32	2010
20A	into	36-37	2025

Assessor's Report

Parcel

3572023

Address

2030 HARRISON ST

Assessed Values

Construction Type

-

Land

\$814,345.00

Use Type

Office - High Class C

Structure

\$1,582,829.00

Units

-

Fixtures

-

Stories

3

Personal Property

-

Rooms

-

Year Built

1907

Bedrooms

-

Building Area

26,320 sq ft

Bathrooms

-

Parcel Area

12,898 sq ft

Basement

-

Parcel Frontage

-

Parcel Shape

-

Parcel Depth

-

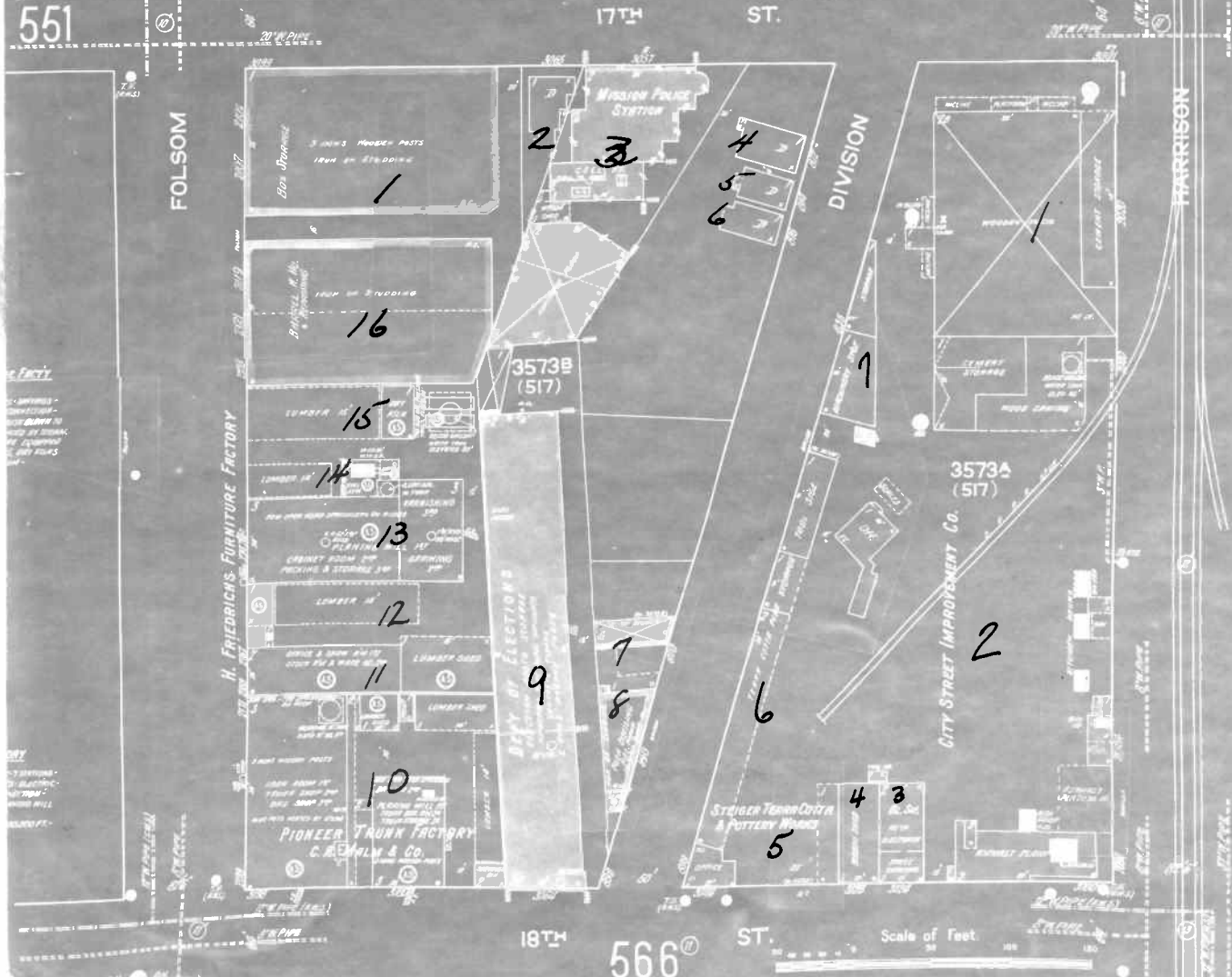
Please send questions about this report to the [Office of the Assessor-Recorder](#).

552

552



541



553

566



Scale of Feet.

Block 3572A

- 1 Apartments
 - a F
 - b F
 - c F
 - d F
- 2 Upholstery
- 3 Stair Builder
- 4 Shack
- 5 Warehouse
- 6 Shack
- 7 S. F. P. D.
- 8 S. F. P. D.
- 9 S. F. P. D.
- 10 Stables.
- 11 Cleaning & Dyeing.
- 12 A Saloon
- 13 A (F)
- 14 Machinery Warehouse
- 15 A
- 16 Brewery.
- 17 A (F)
- 18x A
- a F
- 18 Brewery
- 19 A
- 20 A
- 21 A
- 22 A
- 23 Shack

Block 3572B

- 1 Mattress Factor
- 2 Out house

Block 3573B

- 1 Warehouse (Allec Nye)
- 2 D
- 3 S. F. P. D.
- 4 D
- 5 D
- 6 D
- 7 Vacant
- 8 Vacant
- 9 City Property.
- 10 Truck Factory
- 11 Furniture factory
- 12 Furniture factory
- 13 Panel W' house
- 14 Lumber storage
- 15 Lumber storage
- 16 Vacant.

Block 3573A

- 1 Asphalt Plant
- 2 " "
- 3 Shed
- 4 Sheds
- 5 Asphalt Plant
- 6 Pottery Works.
- 7 Warehouse

552

CAL...090

16TH ST.

ENTERPRISE

CALIFORNIA CASKET CO.

541

3572A

3572B

17TH ST.

551

FOLSOM

3573B

3573C

3573A

553

HARRISON

TREAT AV.

(DIVISION)

MARIPOSA ST.

18TH ST.

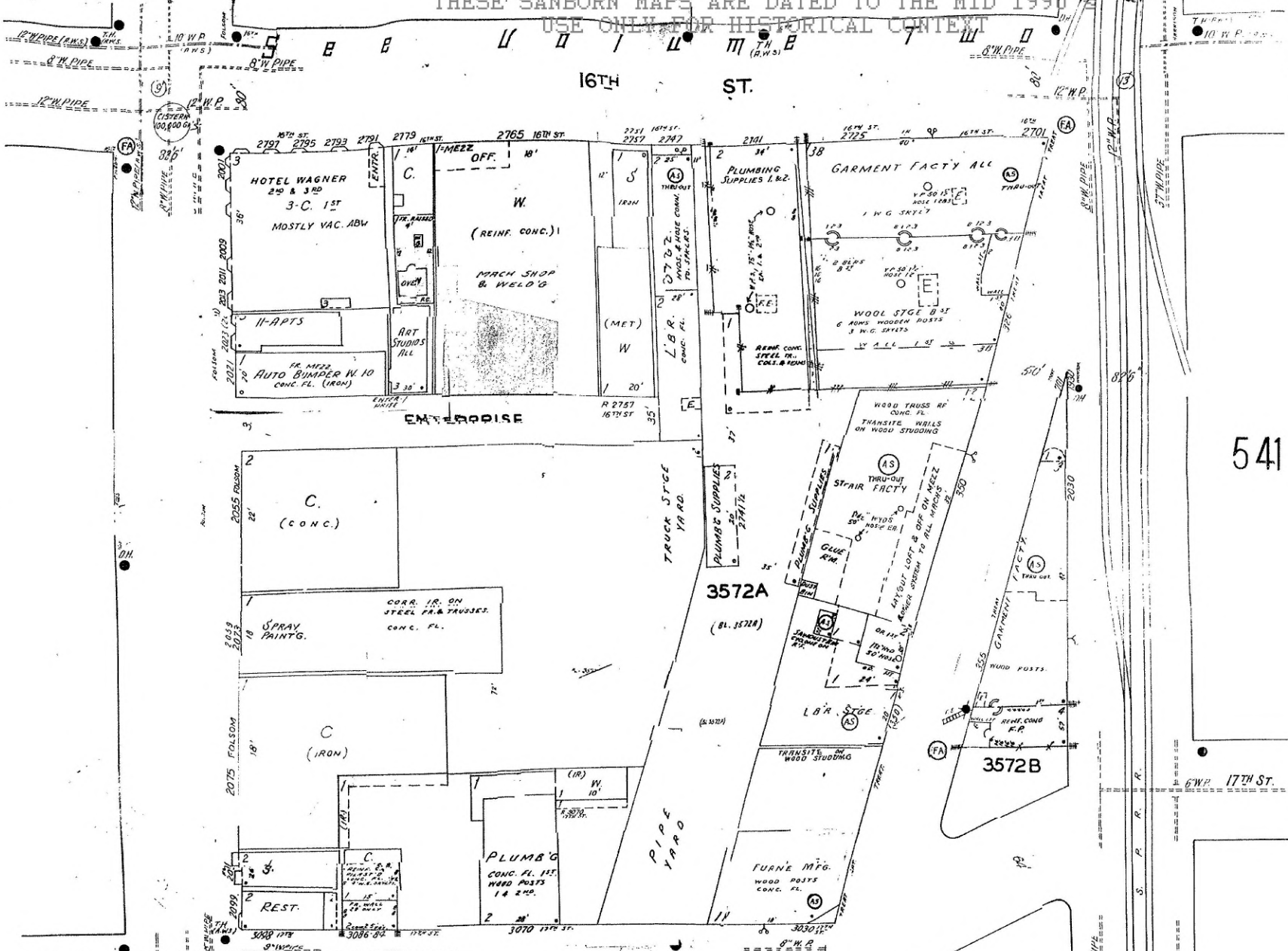
566

ST.

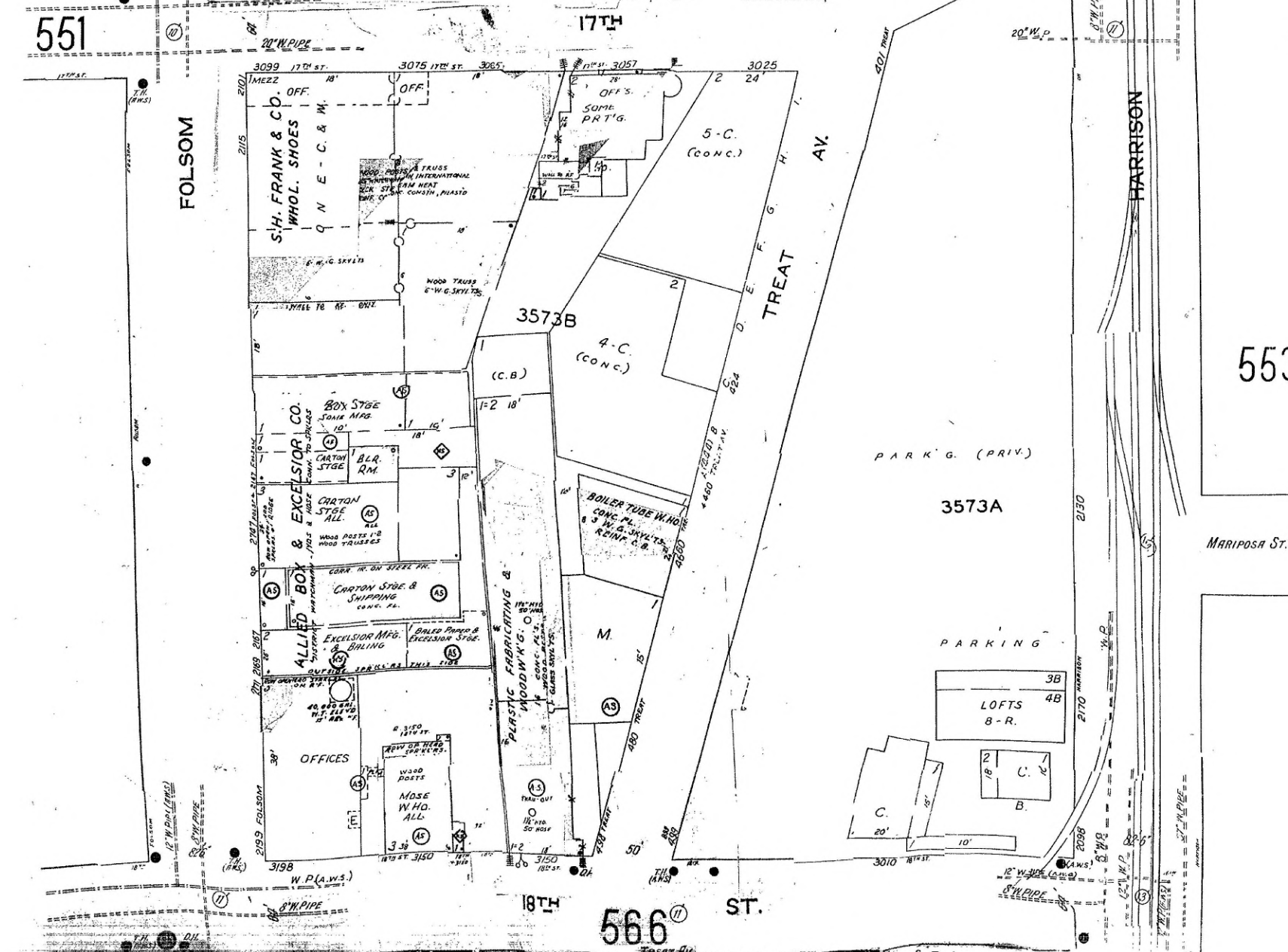
TREAT AV.

Scale of Feet.





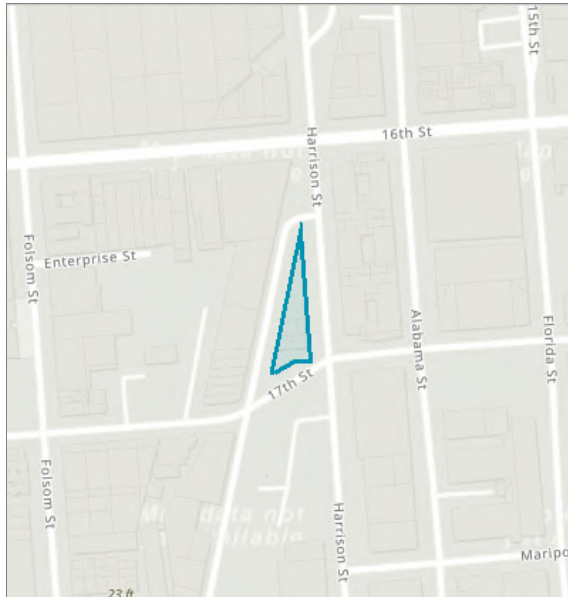
541



553



Report for: 2030 HARRISON ST



Property

General information related to properties at this location.

Parcel (Block/Lot)	Parcel History	Address(es) for this Parcel	Reports
3572/023	3572/001 became 3572/023 on an unknown date	2030 Harrison St, San Francisco, CA 94110	Assessor Summary Assessor Recorded Documents ↗ Secured Property Tax Rolls

Current Planning Team

Team Manager: tina.tam@sfgov.org [↗](#)

Schools (K-12) Within 600ft

None

Port Facilities

None

City Properties

None

Maps

Assessor's Block Map [↗](#)

Block Map 2009 [↗](#)

Block Map 1980 [↗](#)

Block Map 1960-65 [↗](#)

Block Map 1946 [↗](#)

Block Map 1935 [↗](#)

Sanborn Map 1990's [↗](#)

Sanborn Map 1950 [↗](#)

Sanborn Map 1919 [↗](#)

Supervisor District

District 9 (Jackie Fielder) [↗](#)

Census Tract

2020 Census [↗](#) Tract 017700

Neighborhood (Planning Dept)

Mission

Neighborhood Groups Map [↗](#)

Services nearby (street cleaning, parks, MUNI, etc.) [↗](#)

Transportation (transit, ped & bike safety, etc.) [↗](#)

Recommended Plants

Would you like to grow plants that create habitat and save water? Check out the plants that we would recommend for this property at SF Plant Finder [↗](#)

Housing Element Reused Sites and Low-Income Sites

None

State Opportunity Map

Not within a High Resource Area [↗](#)

Sanborn Map 1913-1915 [🗨](#)**National Park Service**

n/a

Assessor

Parcel 3572023
Address 2030 HARRISON ST

Assessed Values

Land \$814,345.00
Structure \$1,582,829.00
Fixtures -
Personal Property -
Year Built 1907
Building Area 26,320 sq ft
Parcel Area 12,898 sq ft
Parcel Frontage -

Construction Type -

Use Type Office - High Class C
Units -
Stories 3
Rooms -
Bedrooms -
Bathrooms -
Basement -
Parcel Shape -
Parcel Depth -

Zoning Information

Planning Department Zoning and other regulations.

Zoning Districts

PDR-1-G - Production, Distribution & Repair - 1 -
General [🗨](#)

Height & Bulk Districts

58-X [🗨](#)

Special Use Districts

Mission Alcohol Restrict [🗨](#)
Fringe Financial Services RUD [🗨](#)
Priority Equity Geographies SUD [🗨](#)

Special Sign Regulations

None

Legislated Setbacks

None

Cultural Districts

None

Planning Areas

Mission (EN) [🗨](#)

Public Realm and Streetscape Plans

Mission District Streetscape Plan [🗨](#)

Other Notices and Regulations**Stormwater Management Ordinance**

Projects that disturb 5,000 square feet or more of the ground surface must comply with the Stormwater Design Guidelines and submit a Stormwater Control Plan to the SFPUC for review. To view the Guidelines and download instructions for preparing a Stormwater Control Plan, go to <http://stormwater.sfwater.org/>.

Coastal Zone

Not in the Coastal Zone

Port

Not under Port Jurisdiction

Redevelopment Areas

None

Neighborhood-Specific Impact Fees

In addition to those impact fees that apply throughout the City, the following neighborhood-specific impact fees apply to this particular property:

Eastern Neighborhoods Infrastructure Impact Fee -
Tier 1 [🗨](#)

An overview of Development Impact Fees can be found on the Impact Fees Website [🗨](#)

Mayor's Invest in Neighborhoods Initiative Areas

None

Community Benefit Districts

None

Housing Sustainability Districts

None

Applicants may contact stormwaterreview@sfgwater.org for assistance.

Read more about this regulation [↗](#)

Added: 8/6/2010

Vision Zero Program

The project is located on a 'high-injury corridor', identified through the City's Vision Zero Program. The Sponsor is encouraged to incorporate pedestrian safety streetscape measures into the project. If the project is required to submit a streetscape plan per Section 138.1 of the Planning Code, planners should refer the project to the Department's Streetscape Design Advisory Team for consideration of additional pedestrian safety streetscape measures

Added:

Industrial Zoning District

Additional review by the Planning Department may occur for interior tenant improvements to verify the legal use of the property.

Added: 10/28/2015

Transit-Oriented Community Policy Areas

The Metropolitan Transportation Commission's (MTC) Transit-Oriented Communities (TOC) Policy [↗](#) is an implementation program of Plan Bay Area 2050, the Bay Area's long-range plan for transportation, housing, economy, and the environment. The policy requires cities to establish minimum residential densities [↗](#), minimum office intensities [↗](#), and parking maximums [↗](#) around transit by the year 2026 for all qualifying transit areas citywide.

Transit-Oriented Communities Tier 2

Nearby Transit-Oriented Communities Transit Corridor/Station: 16th St Mission BART

Design Guidelines

Area Specific Design Guidelines

None

Citywide Design Guidelines

Architectural Design Guide for Exterior Treatments of Unreinforced Masonry Buildings during Seismic Retrofit [↗](#)

This design guide should provide guidance on how to maintain the historical character of a building when conducting seismic retrofit.

General information only. Use of this information for specific applications should be determined in each instance by the user and only upon the professional advice of competent experts.

Design Guide Standards for Bird-Safe Buildings [↗](#)

These guidelines should be applied to new construction and alterations that require treatment options to meet the Bird-Safe Building Standards.

Guide to the San Francisco Green Landscaping Ordinance [↗](#)

The guide describes the Green Landscaping Ordinance and helps San Francisco residents and property owners understand the benefits, requirements, and ways to comply with the ordinance.

Planning Code; Public Works Code

Guidelines for Adding Garages and Curb Cuts [↗](#)

These guidelines explain the criteria in which new garages and curb cuts are reviewed when installing to an existing or an historic building.

Guidelines for Ground Floor Residential Design [↗](#)

The Ground Floor Residential Design Guidelines (Draft) promote buildings that enhance the pedestrian experience and the livability of dwelling by encouraging the ground floor to contribute to active, safe, and comfortable streets.

Draft Document

Standards for Storefront Transparency [↗](#)

These standards promote a transparent storefront that welcomes customers inside with products and services on display, discourage crime with more "eyes on the street," reduced energy consumption with use of natural light, and enhances the curb appeal and value of the store and the entire neighborhood.

Planning Code Requirements for Commercial Buildings

Better Streets Plan [↗](#)

The Better Streets Plan contains guidelines that focus on pedestrian comfort, safety, and the usability of

streets as public spaces. They contain pedestrian-oriented guidelines for curb lines, crosswalks, and other street design features to enable generous, usable public spaces.

Commission Guide for Formula Retail [↗](#)

The purpose of this document is to evaluate the appropriateness of each individual formula retail establishment's use, design, and necessity to help preserve the character of the City's neighborhoods.

Aligns with Planning Code Sections 303.1, 703.3, 803.6(c), Article 6, Article 11

Standards for Window Replacement [↗](#)

With such a variety of different window shapes, muntin profiles, methods of operation and configurations, windows can alter the appearance of a building or overall neighborhood character. These standards are meant to inform the applicant on these details and provide design standards that allow new or replacement windows to be approved.

Zoning Letters of Determination

5399ZAV Zoning Administrator Verification Letter (ZAV) 2701-16th St/300 Treat Ave - Zoning Verification

Opened: 6/2/2006

Status: Closed - Issued 6/22/2006

Contact: Planning counter pic@sfgov.org Tel: 628.652.7300

2701-16th St/300 Treat Ave - Zoning Verification

2515ZAD Zoning Administrator Determination Letter (ZAD) 2701 - 16th St (aka 300 Treat St) - Letter of Determination - proposed self-storage use does not classify as a 'retail use' subject

Opened: 6/4/2003

Status: Closed - Issued 4/29/2009

Contact: Planning counter pic@sfgov.org Tel: 628.652.7300

2701 - 16th St (aka 300 Treat St) - Letter of Determination - proposed self-storage use does not classify as a

149ZAD Zoning Administrator Determination Letter (ZAD) 2701 16th Street, Letter of Determination, Sectorbase, Internet Technology

Opened: 11/19/1999

Status: Closed - Issued 12/21/1999

Contact: Planning counter pic@sfgov.org Tel: 628.652.7300

2701 16th Street, Letter of Determination, Sectorbase, Internet Technology

Official Zoning Maps

Zoning Maps [↗](#)

Environmental Information

The sections below list environmental monitoring requirements and general environmental topics related to this property.

CEQA Information

Known environmental issues related to this property are listed below. Under the California Environmental Quality Act (CEQA), certain types of work on this property may require additional environmental review.

Air Pollutant Exposure Zone

Health Code Article 38 [↗](#)

Site is located in an area with elevated pollutant concentrations. Sensitive use buildings, as defined in the Applicability section of the Ordinance, must comply with Health Code Article 38.

CEQA Impact: An Environmental Evaluation Application may be required for projects that generate air pollutants.

Read more about this regulation [↗](#)

Added: 2/5/2025

Archeologically Sensitive Areas

Archaeological Sensitivity Zone 2 (high sensitivity)

Read more about this regulation [↗](#)

Added: 6/30/2023

Cortese List – State Database of Hazardous Sites

California Government Code Section 65962.5 [↗](#)

The project site may be on a State of California database of sites involving leaking underground storage tanks or the release of hazardous waste and substances. A categorical exemption shall not be used for a project located on a Cortese List site. For more information, contact cpc.epintake@sfgov.org.

Read more about this regulation [↗](#)

Flooding: 100-Year Storm Flood Risk Zone (Stormwater)

Not applicable.

Flooding: FEMA FIRM Flood Hazards (Coastal)

This location does not fall within a Special Flood Hazard Area (SFHA) pursuant to the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Maps (FIRM). Read more about the City's Floodplain Management Program [↗](#) and the Floodplain Management ordinance [↗](#) or contact the City Administrator's Office at floodplainadminister@sfgov.org.

AREA OF LOW OR MINIMAL FLOOD RISK

This location has an area of Low or Minimal Flood Risk - Flood Zone: X Unshaded [↗](#)

"Shaded" Zone X represents areas of moderate or low flood risk – these areas are subject to inundation during a flood having a 0.2-percent-annual-chance of occurrence, or during the 1-percent-annual-chance flood with depth less than 1 foot. "Unshaded" Zone X represents areas of minimal flood risk or areas that FEMA did not study or map. For San Francisco, FEMA did not study or map inland areas where stormwater flooding occurs during heavy rains. Flood insurance purchase requirements do not apply in these areas, but flood insurance may be purchased at reduced cost.

Flooding: Sea Level Rise

This location does not fall within the Sea Level Rise Vulnerability Zone, pursuant to end-of-century projections utilized by the City and County of San Francisco for Capital Planning Guidance (CPC Guidance). To learn more about the City's sea level rise adaptation programs, please visit: <https://sfplanning.org/sea-level-rise-action-plan> [↗](#)

Maher Ordinance and Article 31

Health Code Article 22A [↗](#) and 31 [↗](#)

The Department of Public Health (DPH) administers Health Code Article 22A (also known as the Maher Ordinance) and Article 31. Projects located on sites with known or suspected soil, groundwater, and-or soil vapor contamination are subject to the provisions of Health Code Article 22A. Submittal of a Site Assessment and Mitigation Program application ("Maher Application") to and coordination with DPH may be required. Projects located on Hunters Point Shipyard parcels are subject to the provisions of Health Code Article 31 instead of Article 22A. For projects on these parcels, a submittal of an Article 31 Program Application to and coordination with DPH may be required. Applicants may contact DPH for assistance.

Read more about the Maher Ordinance and Article 31

Added: 9/24/2013

Seismic Hazard – Landslide

Not applicable.

Seismic Hazard – Liquefaction

Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area?

Added: 3/20/2013

Serpentine Rock

Not applicable.

Slopes of 25% or Greater
Not applicable.

Slope Protection Areas - San Francisco Building Code
Not applicable.

Historic Preservation

Historic preservation surveys and evaluations. The Historic Resource status shown on this page is tentative, to confirm the status of your property please speak to a Preservation Technical Specialist. Tel: 628.652.7300; Email: pic@sfgov.org. For a glossary of terms, visit the Help section of this site.

Historic Evaluation

Planning Dept. Historic Resource Status:

A - Historic Resource Present [↗](#)

Parcel: 3572/023

Building Name:

Address: 2030 HARRISON ST

Status Reason: Historic Survey Result

Article 10 Designated Historic Districts and Landmarks

None

Article 11 Preservation Designation

None

Mills Act

Properties with Mills Act [↗](#) approval.

None

National Register of Historic Places

None

Legacy Business Registry

None

California Register of Historical Resources

None

Historic Resource Evaluation Responses

Evaluations for the Purposes of CEQA - These evaluations do not result in the automatic listing or designation of any property within the project area.

None

Historic Resource Assessments

None

Historic Resource Reviews

None

Historic and Cultural Resource Surveys

SF Survey

The San Francisco Citywide Cultural Resources Survey (SF Survey) is underway. SF Survey is a multi-year effort to identify and document places and resources of cultural, historical, and architectural importance to San Francisco's diverse communities. As a part of this effort, staff have been auditing past survey findings to ensure accuracy. To learn more, please visit <https://sfplanning.org/sfsurvey> [↗](#).

This property is not in an Active SF Survey Area.

Past Surveys

Survey Name: Showplace Square/Northeast
Mission Historic Resource
Survey [↗](#)

Evaluation Date: 8/17/2011

Parcel: 3572/023

Survey Rating: 3CS
Appears eligible for CR as an individual property through survey evaluation.

Showplace Square Historic Survey Results:

Address:	2030 HARRISON ST
Parcel:	3572/023
Resource Attribute:	Industrial Building
Year Built:	1907
CHRSC:	3CS
Historic District:	Northeast Mission-Showplace Square Industrial Employment District
California Register:	1, 3
Architect:	Frank P. Lansing, builder
Architectural Style:	Industrial
Notes:	McRosky & Co. Mattress Factory
DPR 523A Form:	Click to view DPR 523A form
Showplace Square/Northeast Mission Historic Survey Website	

DPR Survey Form for Parcel 3572023 [📄](#)

Historic Context Statements

The mention of a property in a historic context statement does not mean it is a Category A, Historic Resource Present. A formal evaluation must be conducted using the document's evaluative framework.

None

Architecture

Unknown

Planning Applications

Permits are required in San Francisco to operate a business or to perform construction activity. The Planning Department reviews most applications for these permits to ensure that the projects comply with the Planning Code [🔗](#). The 'Project' is the activity being proposed. For a glossary of terms, visit Planning Code section 102 [🔗](#), or the Help section of this site.

2003.0270 Project Profile (PRJ) 2701 16TH ST

Opened: 3/11/2003 **Status:** Closed

Contact: Planning counter pic@sfgov.org 628.652.7300

Change use from "business service" to self-storage in a M-1 (Light Industrial) District, a 50-X Height and Bulk

2003.0270D Discretionary Review - Mandatory (DRM) 2701 16TH ST

Opened: 3/11/2003 **Status:** Closed - DR not taken-Approved 5/15/2003

Contact: Dan Sider dan.sider@sfgov.org 628-652-7539

2003.0270E Environmental (ENV) 2701 16TH ST

Opened: 5/5/2003 **Status:** Closed - CEQA Clearance Issued 5/14/2003

Contact: Planning counter pic@sfgov.org 628.652.7300

1922PRV Project Review Meetings (PRV) 300 Treat Street (aka 2701 - 16th Street).

Convert 'business services' to mixed use of residential and offices.

Opened: 12/4/2002 **Status:** Closed - Informational 12/4/2002

Contact: Planning counter pic@sfgov.org 628.652.7300

300 Treat Street (aka 2701 - 16th Street). Convert "business services" to mixed use of residential and offices.

1999.631 Project Profile (PRJ) 2701 16TH ST

Opened: 9/10/1999 **Status:** Closed

Contact: Planning counter pic@sfgov.org 628.652.7300

Conversion of Light Manufacturing use to Business Services use w/i three-story bldg. Project would construct

1999.631E Environmental (ENV) 2701 16TH ST

Opened: 9/10/1999 **Status:** Closed - CEQA Clearance Issued 12/9/2000

Contact: Planning counter pic@sfgov.org 628.652.7300

1998.346 Project Profile (PRJ) 2030 HARRISON ST

Opened: 5/14/1998**Status:** Closed**Contact:** Planning counter pic@sfgov.org 628.652.7300

Parking variance to provide less than required parking spaces per Section 151 of the Planning Code for a

1998.346V Variance (VAR) 2030 HARRISON ST**Opened:** 5/14/1998**Status:** Closed - Approved 6/24/1998**Contact:** Planning counter pic@sfgov.org 628.652.7300

Permitted Short Term Rentals

This section does not include pending or denied applications. Eligible applicants at qualifying properties may host short-term rentals while an application is pending.

None

Building Permits

Applications for Building Permits submitted to the Department of Building Inspection [↗](#). DBI approves plans and issues permits for construction in San Francisco.

Active Permits

Permit 9999997 [↗](#)**Status:** FILING - 12/31/1999**Address:** 2030 HARRISON ST

Installation of radio equipment w/in rooftop equipment area

Originally Filed: 12/31/1999**Parcel:** 3572/023**Existing Use:** OFFICE**Proposed Use:** OFFICE**Existing Units:** 0**Proposed Units:** 0**Existing Occupancy Code:** B**Proposed Occupancy Code:** B Code Definitions [↗](#)**Construction Cost:** \$0.00

Completed Permits

Permit 201411171699 [↗](#)**Status:** COMPLETE - 1/23/2015**Address:** 2030 HARRISON ST

#3- replace kitchen "in kind", new flooring, cabinets, countertops, lights and fixtures to replace existing. No structural work to be done. N/a ordinance #155-13.

Originally Filed: 11/17/2014**Parcel:** 3572/023**Existing Use:** OFFICE**Proposed Use:** OFFICE**Existing Units:** 0**Proposed Units:** 0**Existing Occupancy Code:** B**Proposed Occupancy Code:** B Code Definitions [↗](#)**Construction Cost:** \$22,000.00Permit 200201257737 [↗](#)**Status:** CANCELLED - 10/17/2008**Address:** 2030 HARRISON ST

To erect non electric wall sign

Originally Filed: 1/25/2002 10:30:38 AM**Parcel:** 3572/023**Existing Use:****Proposed Use:****Existing Units:** 0**Proposed Units:** 0**Existing Occupancy Code:****Proposed Occupancy Code:** Code Definitions [↗](#)**Construction Cost:** \$0.00Permit 20000104170 [↗](#)

Status: EXPIRED - 4/1/2001 **Address:** 2030 HARRISON ST
Install radio equipment w/in rooftop equipment7

Originally Filed:	1/4/2000 4:28:08 PM	Parcel:	3572/023
Existing Use:	OFFICE	Proposed Use:	OFFICE
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:	B	Proposed Occupancy Code:	B Code Definitions ↗
Construction Cost:	\$35,000.00		

Permit 9903299 [↗](#)

Status: EXPIRED - 2/11/2002 **Address:** 2030 HARRISON ST
Change lighting lay out & fixtures revise

Originally Filed:	2/19/1999	Parcel:	3572/023
Existing Use:	OFFICE	Proposed Use:	OFFICE
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:	B	Proposed Occupancy Code:	B Code Definitions ↗
Construction Cost:	\$0.00		

Permit 9902945 [↗](#)

Status: EXPIRED - 2/14/2002 **Address:** 2030 HARRISON ST
Add private toilet/sink on second floor

Originally Filed:	2/16/1999	Parcel:	3572/023
Existing Use:	OFFICE	Proposed Use:	OFFICE
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:	B	Proposed Occupancy Code:	F-2 Code Definitions ↗
Construction Cost:	\$0.00		

Permit 9823873 [↗](#)

Status: EXPIRED - 12/16/1999 **Address:** 2030 HARRISON ST
One stop- interior tenant improvement to renovate 2nd floor

Originally Filed:	11/18/1998	Parcel:	3572/023
Existing Use:	WAREHOUSE, FURNITURE	Proposed Use:	OFFICE
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:	B	Proposed Occupancy Code:	F-2 Code Definitions ↗
Construction Cost:	\$250,000.00		

Permit 9822739 [↗](#)

Status: EXPIRED - 2/14/2002 **Address:** 2030 HARRISON ST
Relocate sprk heaes on 1st & 2nd floorrs add new heads

Originally Filed:	11/4/1998	Parcel:	3572/023
Existing Use:	OFFICE	Proposed Use:	OFFICE
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:	B	Proposed Occupancy Code:	B Code Definitions ↗
Construction Cost:	\$0.00		

Permit 9816199 [↗](#)

Status: EXPIRED - 2/8/2002 **Address:** 2030 HARRISON ST
Interior struct-remove 366 sq ft-2nd fl,add rail &framing

Originally Filed:	8/17/1998	Parcel:	3572/023
Existing Use:	OFFICE	Proposed Use:	OFFICE
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:	B	Proposed Occupancy Code:	B Code Definitions ↗
Construction Cost:	\$0.00		

Permit 9815746 [↗](#)**Status:** EXPIRED - 2/11/2002 **Address:** 2030 HARRISON ST

Install office lunch roo in extg 4th floor of bldg

Originally Filed:	8/12/1998	Parcel:	3572/023
Existing Use:	OFFICE	Proposed Use:	OFFICE
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:	B	Proposed Occupancy Code:	B Code Definitions ↗
Construction Cost:	\$0.00		

Permit 9813439 [↗](#)**Status:** EXPIRED - 2/12/2002 **Address:** 2030 HARRISON ST

Install fire alarm control panel ground floor/one pull stn

Originally Filed:	7/15/1998	Parcel:	3572/023
Existing Use:	OFFICE	Proposed Use:	OFFICE
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:	B	Proposed Occupancy Code:	B Code Definitions ↗
Construction Cost:	\$0.00		

Permit 9813058 [↗](#)**Status:** EXPIRED - 2/13/2002 **Address:** 2030 HARRISON ST

Reroute sprinkler main & relocate sprinkler heads

Originally Filed:	7/10/1998	Parcel:	3572/023
Existing Use:	OFFICE	Proposed Use:	OFFICE
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:	B	Proposed Occupancy Code:	B Code Definitions ↗
Construction Cost:	\$0.00		

Permit 9811646 [↗](#)**Status:** EXPIRED - 2/13/2002 **Address:** 2030 HARRISON ST

Revision to app #9717570

Originally Filed:	6/23/1998	Parcel:	3572/023
Existing Use:	OFFICE	Proposed Use:	OFFICE
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:	B	Proposed Occupancy Code:	B Code Definitions ↗
Construction Cost:	\$30,000.00		

Permit 9808218 [↗](#)**Status:** EXPIRED - 2/20/2002 **Address:** 2030 HARRISON ST

Revision to permit #9717570-revise staris,add janitor bathrm

Originally Filed:	5/7/1998	Parcel:	3572/023
Existing Use:	OFFICE	Proposed Use:	OFFICE

Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:	B	Proposed Occupancy Code:	B Code Definitions 🔗
Construction Cost:	\$0.00		

Permit 9801473 [🔗](#)**Status:** EXPIRED - 2/21/2002 **Address:** 2030 HARRISON ST

New elevator/stair penthouse in connection w/seis. 9714397

Originally Filed:	1/28/1998	Parcel:	3572/023
Existing Use:	OFFICE	Proposed Use:	OFFICE
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:	B	Proposed Occupancy Code:	B Code Definitions 🔗
Construction Cost:	\$0.00		

Permit 9800297 [🔗](#)**Status:** EXPIRED - 2/12/2002 **Address:** 2030 HARRISON ST

Details for concrete footings & elevator pit(ref.9714397)

Originally Filed:	1/8/1998	Parcel:	3572/023
Existing Use:	OFFICE	Proposed Use:	OFFICE
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:	B	Proposed Occupancy Code:	B Code Definitions 🔗
Construction Cost:	\$0.00		

Permit 9717570 [🔗](#)**Status:** EXPIRED - 2/8/2002 **Address:** 2030 HARRISON ST

T.I. On 3rd & 4th flr,new partitions,elevator for access

Originally Filed:	9/9/1997	Parcel:	3572/023
Existing Use:	OFFICE	Proposed Use:	OFFICE
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:	B	Proposed Occupancy Code:	B Code Definitions 🔗
Construction Cost:	\$0.00		

Permit 9714397 [🔗](#)**Status:** EXPIRED - 12/11/1998 **Address:** 2030 HARRISON ST

Seismic upgrade only

Originally Filed:	7/31/1997	Parcel:	3572/023
Existing Use:	OFFICE	Proposed Use:	OFFICE
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:	B	Proposed Occupancy Code:	B Code Definitions 🔗
Construction Cost:	\$0.00		

Permit 9607370 [🔗](#)**Status:** CANCELLED - 1/9/1997 **Address:** 2030 HARRISON ST

Seismic work

Originally Filed:	4/30/1996	Parcel:	3572/023
Existing Use:	MANUFACTURING	Proposed Use:	MANUFACTURING
Existing Units:	0	Proposed Units:	0

Existing Occupancy Code:	F-1	Proposed Occupancy Code:	F-1	Code Definitions ↗
Construction Cost:	\$0.00			

Permit 8306976 [↗](#)

Status: EXPIRED - 10/10/1984 Address: 2030 HARRISON ST

Originally Filed:	7/22/1983	Parcel:	3572/023
Existing Use:		Proposed Use:	
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:		Proposed Occupancy Code:	Code Definitions ↗
Construction Cost:	\$0.00		

Permit 8306975 [↗](#)

Status: COMPLETE - 1/25/1984 Address: 2030 HARRISON ST

Originally Filed:	7/22/1983	Parcel:	3572/023
Existing Use:		Proposed Use:	
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:		Proposed Occupancy Code:	Code Definitions ↗
Construction Cost:	\$0.00		

Permit 8306974 [↗](#)

Status: COMPLETE - 1/25/1984 Address: 2030 HARRISON ST

Originally Filed:	7/22/1983	Parcel:	3572/023
Existing Use:		Proposed Use:	
Existing Units:	0	Proposed Units:	0
Existing Occupancy Code:		Proposed Occupancy Code:	Code Definitions ↗
Construction Cost:	\$0.00		

Additional Permits

Additional Permits [↗](#) (electrical, plumbing, etc) lodged with the Department of Building Inspections.

Other Permits

Other miscellaneous permits reviewed by the Planning Department. Depending on the activity being proposed a permit may need to be obtained from the Fire Department, Department of Public Health, Police Department, Alcoholic Beverage Commission or other organization. The Planning Department reviews most applications for these permits in order to ensure compliance with the Planning Code [↗](#).

Active Permits

None

Completed Permits

None

Complaints

The Planning Department and the Department of Building Inspection receive public complaints and operate enforcement programs [↗](#) to ensure compliance with the SF Planning Code and Building Inspection Commission Code.

Planning Department Complaints

Active

None

Completed

None

Department of Building Inspection Complaints

Disclaimer

[View Complaint 202534051 \(2030 HARRISON ST\)](#)[View Complaint 202533874 \(2030 HARRISON ST\)](#)[View Complaint 202533876 \(2030 HARRISON ST\)](#)

Appeals

Appeals related to Planning Department review. More information on Board of Appeals records can be found [here](#).

Board of Appeals**00-033 2701 16TH ST****File Date:** 3/6/2000**Hearing Date:** 4/12/2000**Close Date:** undefined**Status:****Description of Appeal:** PROTEST ISSUANCE OF PERMIT TO ALTER
9926975**Hearing Result:** UPHOLD DEPARTMENT, GRANT PERMIT WITH NO CONDITIONS**Decision Doc:****00-002 2701 16TH ST****File Date:** 1/5/2000**Hearing Date:** 3/1/2000**Close Date:** undefined**Status:****Description of Appeal:** DETERMINATION BY THE ZONING ADMINISTRATOR**Hearing Result:** UPHOLD ZONING ADMINISTRATOR DETERMINATION WITH FINDINGS**Decision Doc:****Other Appeals****01-013 Appeals (APL) 2001 HARRISON ST****Opened:** 1/19/2001**Status:** Closed - Appeal Denied 2/21/2001**Contact:** Elizabeth Gordon Jonckheer Elizabeth.Gordon-Jonckheer@sfgov.org 628-652-7365**01-010 Appeals (APL) 2001 HARRISON ST****Opened:** 1/19/2001**Status:** Closed 5/9/2016**Contact:** Elizabeth Gordon Jonckheer Elizabeth.Gordon-Jonckheer@sfgov.org 628-652-7365

Block Book Notifications (BBNs) & Notices of Special Restrictions (NSRs)

A Block Book Notification (BBN) is a request made by a member of the public to be notified of permits on any property that is subject to the San Francisco Planning Code. You can also sign up to be emailed when new planning applications or building permits are filed in your neighborhood through our [Permits in Your Neighborhood](#) website.

A Notice of Special Restriction (NSR) is a document recorded to the Office of the Assessor-Recorder [and](#) lists specific conditions and/or limitations associated with a property. The NSRs listed below are limited to those related to the Planning Code. Other NSRs on the property may be recorded with the Office of the Assessor-Recorder.

Block Book Notifications

None

Notice of Special Restrictions

NSR No: G401434

NSR Date: 8/5/1998

Assoc Record No: 1998.346V

NSR Date: 8/5/1998

PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2 *Resource name(s) or number (assigned by recorder) 2030 HARRISON ST

P1. Other Identifier Mcroskey & Co.
*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County: San Francisco and P2b and P2c or P2d. Attach a Location Map as necessary.

*b. USGS 7.5' Quad: SF North Date: 1994

*c. Address: 2030 Harrison St City: San Francisco Zip: 94110

d. UTM: (Give more than one for large and/or linear resources) Zone _____; _____mE/ _____mN

e. Other Locational Data: Assessor's Parcel Number: 3572023

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This is a partial four-story, wood-frame industrial building finished in smooth stucco and capped with a flat roof. The building, which has been converted to residential lofts, occupies a 11,895 sq ft triangular-shaped parcel bounded by Harrison and 17th streets and Treat Avenue. The primary facade faces east on Harrison Street and the rear facade faces Treat Avenue mirrors the primary facade. The building is divided in two sections: a four story south section and a three story north section. The south section of the building is two bays wide with two steel sash industrial windows featured on each floor. The first and second story are separated by a molded intermediate cornice that runs the length of the entire building and the third and fourth story are also separated by a cornice. The south section of the building terminates with a shaped parapet. The north section of the building continues the remaining length of the parcel and contains a penthouse on the south end. Multi-lite steel sash fixed and awning windows run in horizontal bands on each floor. The penthouse has only one such window. The main entrance is at the north elevation, which is one bay wide with steel sash industrial windows at each story. The entrance features a glass and steel framed double door and is sheltered by a classical curved entry porch supported by simple columns. The facades terminate with a molded cornice followed by plain frieze capped with another molded cornice. The building appears in good condition.

*P3b. Resource Attributes: (list attributes and codes) HP8. Industrial Building, HP3. Multiple-family Property

P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☒ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects)

*P5b. Photo (view, date, accession #
100_5339.JPG, 11/16/2007,
view to W

*P6. Date Constructed/Age and Sources
☒ Historic ☐ Prehistoric ☐ Both
1907, Assessor's Office

*P7. Owner and Address:

Cort Family Living Trust
Robert J Cort Sr Trustee
757 3rd Ave
San Francisco Ca 94118

*P8. Recorded by
Tim Kelley
Tim Kelley Consulting
2912 Diamond St. #330

*P9. Date Recorded:
6/12/08

*P10. Survey Type: (Describe)
Intensive



*P11. Report Citation: (Cite survey report and other sources, or enter "none") San Francisco Office of the Assessor/Recorder

*Attachments

☐ BSOR ☐ None ☒ Continuation Sheet
☐ Archaeological Record ☐ District Record ☐ Location Map ☐ Other...
☐ Artifact Record ☐ Photograph Record ☐ Linear Feature Record

CONTINUATION SHEET

Page 2 of 2

Resource Name or # (Assigned by Recorder)

2030 HARRISON ST

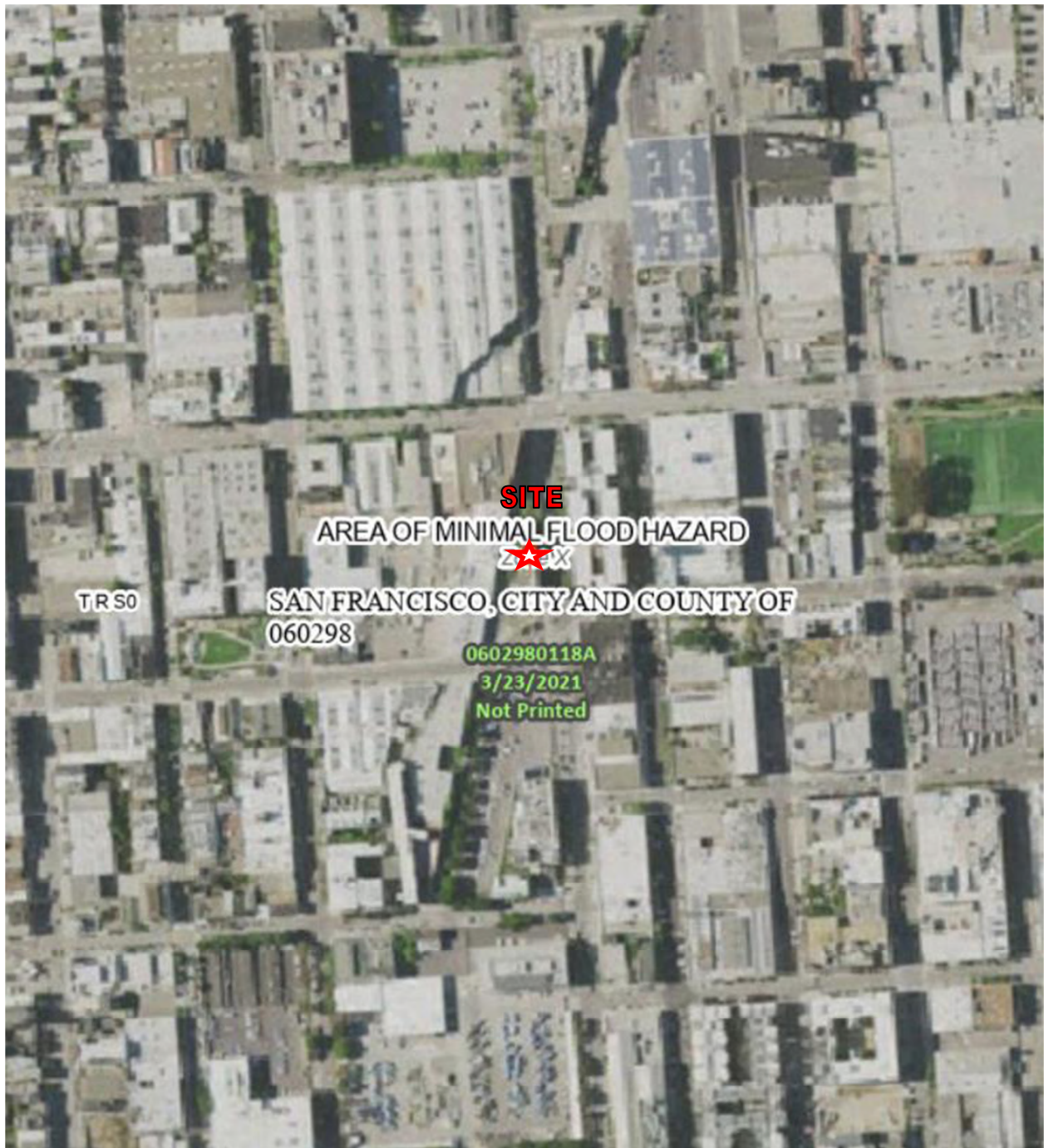
*Recorded by: Tim Kelley

Date 6/12/08

☒ Continuation ☐ Update



100_5339.T.JPG, 11/16/2007, view to E, Treat
St elevation



The subject property at 2030 Harrison Street, San Francisco, CA, is located in FEMA Flood Zone X (unshaded) per FIRM Panel no. 0602980118A, dated March 23, 2021.

Flood Zone X (unshaded)

FEMA describes Flood Zone X (unshaded) as an area of minimal flood hazard, usually depicted on flood maps as above the 500-year flood level. Zone X is the area determined to be outside the 500-year flood and protected by levee from a 100-year flood.

Permit Details Report**Report Date:** 4/10/2026 8:00:37 PM

Application Number: 9714397

Form Number: 3

Address(es): 3572 / 023 / 0 2030 HARRISON ST

Description: SEISMIC UPGRADE ONLY

Cost: \$165,000.00

Occupancy Code: B

Building Use: 10 - OFFICE

Disposition / Stage:

Action Date	Stage	Comments
7/31/1997	FILED	
12/8/1997	APPROVED	
12/11/1997	ISSUED	
12/11/1998	EXPIRED	

Contact Details:

HOOKS DESIGN & ARCH. -

Contractor Details:**Addenda Details:****Description:**

Station	Rev#	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Review Result	Hold Description
CP-ZOC		7/31/97	10/29/97			10/30/97	LJM		SEISMIC UPGRADE ONLY/TT'S UNDER SEPARATE PERMIT
PAD-CLRK		11/19/97	11/19/97			11/19/97	SNT		
PAD-SSS		11/19/97	11/19/97			11/19/97	00		LOG OUT/NO WORK DONE;ROUTING IN ERROR
PAD-PC		11/19/97	11/21/97			11/21/97	JL		
PAD-STR		11/24/97	12/4/97			12/4/97	MT		
CPB		12/8/97	12/8/97						

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
------------------	-------------------	------------------	------------------	-------------	------------

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
3/23/1998	Wellington Wong	ROUGH FRAME	ROUGH FRAME, PARTIAL
3/23/1998	Wellington Wong	ROUGH FRAME	SHEAR WALL
3/17/1998	Wellington Wong	LATH, EXTERIOR	LATH, EXTERIOR
1 2 3			

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
0		00	03	MOMENT CONC	X
0		00	20	SPECIAL CASES	X
0		00	19	SHEAR DIAP	X
0		00	05	WELDING	X

For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)[Online Permit and Complaint Tracking home page.](#)**Technical Support for Online Services**

If you need help or have a question about this service, please visit our FAQ area.

City and County of San Francisco © 2026

Permit Details Report**Report Date:** 4/13/2026 6:57:49 PM

Application Number: 9714397

Form Number: 3

Address(es): 3572 / 023 / 0 2030 HARRISON ST

Description: SEISMIC UPGRADE ONLY

Cost: \$165,000.00

Occupancy Code: B

Building Use: 10 - OFFICE

Disposition / Stage:

Action Date	Stage	Comments
7/31/1997	FILED	
12/8/1997	APPROVED	
12/11/1997	ISSUED	
12/11/1998	EXPIRED	

Contact Details:

HOOKS DESIGN & ARCH. -

Contractor Details:**Addenda Details:****Description:**

Station	Rev#	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Review Result	Hold Description
CP-ZOC		7/31/97	10/29/97			10/30/97	LJM		SEISMIC UPGRADE ONLY/TT'S UNDER SEPARATE PERMIT
PAD-CLRK		11/19/97	11/19/97			11/19/97	SNT		
PAD-SSS		11/19/97	11/19/97			11/19/97	00		LOG OUT/NO WORK DONE;ROUTING IN ERROR
PAD-PC		11/19/97	11/21/97			11/21/97	JL		
PAD-STR		11/24/97	12/4/97			12/4/97	MT		
CPB		12/8/97	12/8/97						

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
------------------	-------------------	------------------	------------------	-------------	------------

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
3/11/1998	Wellington Wong	ROUGH FRAME	ROUGH FRAME, PARTIAL
3/11/1998	Wellington Wong	ROUGH FRAME	SHEAR WALL
3/4/1998	Wellington Wong	SHEAR WALL	SHEAR WALL
1 2 3			

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
0		00	03	MOMENT CONC	X
0		00	20	SPECIAL CASES	X
0		00	19	SHEAR DIAP	X
0		00	05	WELDING	X

For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)[Online Permit and Complaint Tracking home page.](#)**Technical Support for Online Services**

If you need help or have a question about this service, please visit our [FAQ area](#).

City and County of San Francisco © 2026

Permit Details Report**Report Date:** 4/13/2026 6:57:49 PM

Application Number: 9714397

Form Number: 3

Address(es): 3572 / 023 / 0 2030 HARRISON ST

Description: SEISMIC UPGRADE ONLY

Cost: \$165,000.00

Occupancy Code: B

Building Use: 10 - OFFICE

Disposition / Stage:

Action Date	Stage	Comments
7/31/1997	FILED	
12/8/1997	APPROVED	
12/11/1997	ISSUED	
12/11/1998	EXPIRED	

Contact Details:

HOOKS DESIGN & ARCH. -

Contractor Details:**Addenda Details:****Description:**

Station	Rev#	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Review Result	Hold Description
CP-ZOC		7/31/97	10/29/97			10/30/97	LJM		SEISMIC UPGRADE ONLY/TT'S UNDER SEPARATE PERMIT
PAD-CLRK		11/19/97	11/19/97			11/19/97	SNT		
PAD-SSS		11/19/97	11/19/97			11/19/97	00		LOG OUT/NO WORK DONE;ROUTING IN ERROR
PAD-PC		11/19/97	11/21/97			11/21/97	JL		
PAD-STR		11/24/97	12/4/97			12/4/97	MT		
CPB		12/8/97	12/8/97						

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
------------------	-------------------	------------------	------------------	-------------	------------

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
2/10/1998	Wellington Wong	SHEETROCK NAILING	SHEAR WALL
1/16/1998	Wellington Wong	REINFORCING STEEL	OK TO POUR
1/8/1998	Wellington Wong	REINFORCING STEEL	OK TO POUR
1 2 3			

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
0		00	03	MOMENT CONC	X
0		00	20	SPECIAL CASES	X
0		00	19	SHEAR DIAP	X
0		00	05	WELDING	X

For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)[Online Permit and Complaint Tracking home page.](#)**Technical Support for Online Services**

If you need help or have a question about this service, please visit our [FAQ area](#).

City and County of San Francisco © 2026

APPENDIX B



Questions.01 for 2030 Harrison Street, San Francisco, CA (Project No. 26008.61)

Information in purple and underlined was provided by Ryan Miller Architects.

1. How long has UGames been in the building? Reportedly 1996/1997.
2. What is (are) the age(s) of the roofing systems (main roof and penthouses)? [Unknown](#)
3. If you have copies of the roof warranties—if still valid—can those be sent to me? [Unknown](#)
4. Are there any known, current leaks through the roofing systems? [Unknown](#)
5. Is roof maintenance provided on an as-needed basis vs. having a maintenance contract providing regularly scheduled service visits? [As-needed](#)
6. If there is a contract for regular roof maintenance, how often are roof maintenance visits conducted?
[Unknown](#)
7. Who is the roofing service provider? [Unknown](#)
8. Are the windows original (1907 original construction)? [Yes](#)
9. Are there any known, current leaks through the window/wall systems? [Yes](#)
10. When were the building's exterior elements that have a paint finish last completely repainted?
[Unknown](#)
11. Have there been any underground sewer line replacements during UGames' occupancy of the building?
[No](#)
12. Have there been any sewer line blockages, other than minor ones caused by an excess of toilet paper in a toilet, for example, during UGames' occupancy of the building? [Unknown](#)

13. Have there been any underground gas line replacements during UGames' occupancy of the building? **No**

14. Have there been any instances of fire at the building during UGames' occupancy of the building? **No**

15. Have there been any instances of flooding into the building during UGames' occupancy of the building?

A minor back-up through the floor drains in the first floor restrooms was reported on April 13, 2026.

Phase 3 of the Harrison Street sewer line replacement will install new sewer lines as far south as 18th Street.

16. Are there any known issues with soil settlement around the site or with differential settlement of the concrete foundation slabs? **Unknown**

17. Has an ADA survey been conducted for the property? If yes, can a copy of the survey be provided?

Unknown

18. Have there been any ADA related complaints, fines, or lawsuits? **Unknown**

19. Who provides HVAC maintenance? **Unknown**

Are security systems installed? If yes, please describe briefly. **Front door, first & second floors are alarmed through Bay Alarm. There is a keyed entry for the side door, but no other security systems.**

20. There are two permits—one from 1996 , the other from 1997—for seismic structural upgrades; neither have been finalized. The SFDBI website permit information indicates that no work was ever performed under either permit. Have seismic structural upgrades ever been completed? Even though the permits have never been finalized, it appears upgrades have been performed.

21. Can you provide a copy of the latest five-year NFPA fire sprinkler inspection report? **N/a**

22. Have any interior fire sprinkler pipes ever been replaced because of corrosion? **Unknown**

23. Who provides elevator maintenance? And do they have an annual contract? **Unknown**

24. When was the parking lot last resealed and restriped? **Unknown**

25. There is visible steel seismic bracing in the building (red-painted bracing near windows in photo below).

Do you know if the bracing dates to original construction? The bracing was reportedly installed in the late 1990s.





Questions.02 for 2030 Harrison Street, San Francisco, CA (Project No. 26008.61)

Information ion purple and underlined was provided by Ryan Miller Architects.

1. When were the fire escapes last inspected? 2024 or 2025
2. How old is the elevator? (I found a permit from 1998, but it expired without being finalized. I am guessing a new elevator was installed in the late 1990s on the east side of the building since the old Sanborn maps show the elevator on the west side of the building.) Unknown
3. The main electrical switchgear appears somewhat new. When was it installed? Unknown
4. Have any fire sprinkler heads been replaced Unknown
5. If yes to above, how many?
6. Can a list of the HVAC equipment with model and serial numbers be provided?

APPENDIX C

GENERAL CONDITIONS TO THE AUTHORIZATION FOR WORK AGREEMENT

It is hereby agreed that the Client retains Ryan Miller Architects to provide services as set forth in the Authorization for Work attached hereto (the "Work"). This contract shall be controlled by the following terms and conditions, and these terms and conditions shall also control any further assignments performed pursuant to this Authorization for Work. Client's signature on this Authorization for Work constitutes Client's agreement to the all terms to this contract, including these General Conditions.

FEES AND COSTS

1. Ryan Miller Architects shall charge for work performed by its personnel at the rates identified in the Authorization for Work. These rates are subject to reasonable increases by Ryan Miller Architects upon giving Client 30 days advance notice. Reimbursable Costs will be charged to the Client in addition to the fees for the basic services under this Agreement and all Additional Services (defined below) under the Agreement. Reimbursable Costs include, but are not limited to, expenses for travel, including transportation, meals, lodging, long distance telephone, and other related expenses, as well as the costs of reproduction of all drawings for the Client's and/or Ryan Miller Architects' use, costs for specifications and type-written reports, permit and approval fees, automobile travel reimbursement, costs and fees of subcontractors. No overtime is accrued for time spent in travel. All costs incurred which relate to the services or materials provided by a contractor or subcontractor to Ryan Miller Architects shall be invoiced by Ryan Miller Architects on the basis of cost plus twenty percent (120%). Automobile travel reimbursement shall be at the rate of seventy-two and one-half cents (\$0.725) per mile. All other reimbursable costs shall be invoiced and billed by Ryan Miller Architects at the rate of 1.1 times the direct cost to Ryan Miller Architects.

Reimbursable costs will be charged to the client only as outlined in the Authorization for Work if the scope of work is for Phase I Environmental Site Assessment, Property Condition Assessment, Seismic Assessment or ALTA survey. Invoices for work performed shall be submitted monthly. Payment will be due upon receipt of invoice. Client shall pay interest on the balance of unpaid invoices which are overdue by more than 30 days, at a rate of 18% per annum as well as all attorney fees and costs incurred by Ryan Miller Architects to secure payment of unpaid invoices. Ryan Miller Architects may waive such fees at its sole discretion.

STANDARD OF CARE

2. Ryan Miller Architects will perform its work in accordance with the standard of care of its industry, as it is at the time of the work being performed, and applicable in the locale of the work being performed. Ryan Miller Architects makes no other warranties, express or implied regarding its work.

LIMITATION OF REMEDIES

3. Client expressly agrees that to the fullest extent permitted by law, Client's remedies for any liability incurred by Ryan Miller Architects, and/or its employees or agents, for any and all claims arising from the performance of services by Ryan Miller Architects, shall be \$50,000.00 or the Client's fees relating to such claims, whichever is smaller, except, however, this limitation of remedies shall apply only to Client's recovery against Ryan Miller Architects and shall not limit Client's recovery against or from any insurance policy maintained by Ryan Miller Architects.

Client may request a higher limitation of remedies, but must do so in writing. Upon such written request, Ryan Miller Architects may agree to increase this limit in exchange for a mutually negotiated higher fee commensurate with the increased risk to Ryan Miller Architects. Any such agreed increase in fee and limitation of remedies amount must be memorialized by written agreement which expressly amends the terms of this clause.

As used in this section, the term "limitation of remedies" shall apply to claims of any kind, including, but not limited to, claims brought in contract, tort, strict liability, or otherwise, for any and all injuries, claims, losses, expenses, or damages whatsoever arising out of or in any way related to Ryan Miller Architects' services or the services of Ryan Miller Architects' subcontractors, consultants, or agents from any cause(s). Ryan Miller Architects shall not be liable for any claims of loss of profits or any other indirect, incidental, or consequential damages of any nature whatsoever, except, however, this limitation of remedies shall apply only to Client's recovery against Ryan Miller Architects and shall not limit Client's recovery against or from any insurance policy maintained by Ryan Miller Architects.

INDEMNIFICATION

4. Notwithstanding any other provision of this Agreement, Client agrees, to the fullest extent permitted by law, to waive any claim against, release from any liability or responsibility for, and indemnify and hold harmless Ryan Miller Architects, its employees, agents and sub-consultants (collectively, Consultant) from and against any and all damages, liabilities, claims, actions or costs of any kind, including reasonable attorney's fees and defense costs, arising or alleged to arise out of or to be in any way connected with the Project or the performance or non-performance of Consultant of any services under this Agreement, except to the extent any such liabilities are determined by a court or other forum of competent jurisdiction to have been caused by the negligence or willful misconduct of Consultant.

Client further agrees to indemnify Consultant for any liability Consultant suffers to a third person to the extent that liability exceeds the limitation of liability amounts stated in Limitation of Remedies paragraph. This provision shall be in addition to any rights of indemnity Consultant may have under the law and shall survive and remain in effect following the termination of this Agreement for any reason. Should any part of this provision be determined to be unenforceable, Ryan Miller Architects and Client agree the rest of the provision shall apply to the maximum extent permitted by law. The Client's duty to defend Ryan Miller Architects shall

arise immediately upon tender of any matter potentially covered by the above obligations to indemnify and hold harmless.

Ryan Miller Architects agrees to indemnify and hold harmless CLIENT, its officers, directors, partners, employees, and any other entity or person for which Ryan Miller Architects is legally liable, from and against any damages, losses, liabilities, judgments, settlements, expenses, and costs (including reasonable attorneys' fees, costs and expenses recoverable under applicable law), that CLIENT incurs from claims by third parties, to the extent caused by negligent acts, errors or omissions or willful misconduct of Ryan Miller Architects in the performance of professional services under this Agreement and any other entity or person for which Ryan Miller Architects is legally liable.

Notwithstanding the foregoing, if Ryan Miller Architects' obligation to defend, indemnify, and/or hold harmless arises out of Ryan Miller Architects' performance of "design professional" services (as that term is defined under California Civil Code Section 2782.8), Ryan Miller Architects' obligations shall be as stated in California Civil Code Section 2782.8, which is fully incorporated herein as it was in effect as of the date of this Agreement. Ryan Miller Architects' indemnification obligation shall be limited to claims to the extent caused by the negligence, recklessness, or willful misconduct of Ryan Miller Architects, and, upon Ryan Miller Architects obtaining a final adjudication by a court of competent jurisdiction, Ryan Miller Architects' liability for such claim, including the cost to defend, shall not exceed Ryan Miller Architects' proportionate percentage of fault. Ryan Miller Architects is not obligated to indemnify and hold harmless CLIENT for CLIENT'S active or sole negligence, or willful misconduct.

MEDIATION & JUDICIAL REFERENCE

5. In an effort to resolve any conflicts or disputes that arise regarding the performance of this agreement, the Client and Ryan Miller Architects agree that all such disputes shall be submitted to non-binding mediation, using a mutually agreed upon mediation service experienced in the resolution of construction disputes. Unless the parties mutually agree otherwise, such mediation shall be a condition precedent to the initiation of any other adjudicative proceedings. It is further agreed that any dispute that is not settled pursuant to such mediation shall be adjudicated by a court appointed referee in accordance with the Judicial Reference procedures as set forth in California Code of Civil Procedure Section 638 et seq. The parties hereby mutually agree to waive any right to a trial by jury regarding any dispute arising out of this agreement.

The parties further agree to include a similar mediation, Judicial Reference & waiver of jury trial provision in their agreements with other independent contractors & consultants retained for the project and require them to similarly agree to these dispute resolution procedures. The cost of said Mediation shall be split equally between the parties. This agreement to mediate shall be specifically enforceable under the prevailing law of the jurisdiction in which this agreement was signed.

HAZARDOUS WASTE

6. The PCA does not address the presence or absence of any hazardous materials, chemicals, or biological growths (such as mold or mildew) at the subject property. Any evaluation or description of environmental matters or concerns is outside the scope of work of the PCA.

FORCE MAJUERE

7. Neither party shall be responsible for damages or delays in performance under this Agreement caused by acts of God, strikes, lockouts, accidents or other events or conditions (other than financial inability) beyond the other Party's reasonable control.

TERMINATION

8. This Agreement may be terminated by either party upon ten (10) days' written notice should the other party substantially fail to perform in accordance with its duties and responsibilities as set forth in this Agreement and such failure to perform is through no fault of the party initiating the termination. Client agrees that if it chooses to terminate Ryan Miller Architects for convenience, and Ryan Miller Architects has otherwise satisfactorily performed its obligations under this Agreement to that point, Ryan Miller Architects shall be paid no less than eighty percent (80%) of the contract price, provided, however, that if Ryan Miller Architects shall have completed more than eighty percent of the Work at the time of said termination, Ryan Miller Architects shall be compensated as provided in the Authorization for Work for all services performed prior to the termination date which fall within the scope of work described in the Authorization for Work and may as well, at its sole discretion and in accordance with said Schedule of Fees, charge Client, and Client agrees to pay Ryan Miller Architects' reasonable costs and labor in winding up its files and removing equipment and other materials from the Project.

Upon notice of termination by Client to Ryan Miller Architects, Ryan Miller Architects may issue notice of such termination to other consultants, contractors, subcontractors and to governing agencies having jurisdiction over the Project, and take such other actions as are reasonably necessary in order to give notice that Ryan Miller Architects is no longer associated with the Project and to protect Ryan Miller Architects from claims of liability from the work of others.

DOCUMENTS

9. Any documents prepared by Ryan Miller Architects, including, but not limited to proposals, project specifications, drawings, calculations, plans and maps, and any ideas and designs incorporated therein, as well as any reproduction of the above are instruments of service and shall remain the property of Ryan Miller Architects and Ryan Miller Architects retains copyrights to these instruments of service. Ryan Miller Architects grants to Client a non-exclusive license to use these instruments of service for the purpose of completing and maintaining the Project.

The Client shall be permitted to retain a copy of any instruments of service, but Client expressly agrees and acknowledges that the instruments of service may not be used by the Client on other projects, or for any other purpose, except the project for which they were prepared, unless Client first obtains a written agreement expanding the license to such use from Ryan Miller Architects, and with appropriate compensation to Ryan Miller Architects. Client further agrees that such instruments of service shall not be provided to any third parties without the express written permission of Ryan Miller Architects.

Client shall furnish, or cause to be furnished to Ryan Miller Architects all documents and information required by Ryan Miller Architects for the proper performance of its services. If Client fails to provide Ryan Miller Architects with all materials in the Client's possession requested during the period that Ryan Miller Architects is actively providing its services, Client shall release Ryan Miller Architects from any and all liability for risks and damages the Client incurs resulting from its reliance on Ryan Miller Architects' professional opinion. Ryan Miller Architects shall be entitled to rely upon Client-provided documents and information in performing the services required in this Agreement; however, Ryan Miller Architects assumes no responsibility or liability for the accuracy or completeness of Client-provided documents. Client-provided documents will remain the property of the Client.

ACCESS TO PROJECT

10. Client grants to Ryan Miller Architects the right of access and entry to the Project at all times necessary for Ryan Miller Architects to perform the Work. If Client is not the owner of the Project, then Client represents that Client has full authority to grant access and right of entry to Ryan Miller Architects for the purpose of the performance of their Work. This right of access and entry extends fully to any agents, employees, contractors or subcontractors of Ryan Miller Architects upon reasonable proof of association with Ryan Miller Architects. Client's failure to provide such timely access and permission shall constitute a material breach of this Agreement excusing Ryan Miller Architects from performance of its duties under this Agreement.

CONFIDENTIAL INFORMATION

11. Both Client and Ryan Miller Architects understand that in conjunction with Ryan Miller Architects' performance of the Work on the project, both Client and Ryan Miller Architects may receive or be exposed to Proprietary Information of the other. As used herein, the term "Proprietary Information" refers to any and all information of a confidential, proprietary or secret nature which may be either applicable to, or relate in any way to: (a) the personal, financial or other affairs of the business of each of the Parties, or (b) the research and development or investigations of each of the Parties. Proprietary Information includes, for example and without limitation, trade secrets, processes, formulas, data, know-how, improvements, inventions, techniques, software technical data, developments, research projects, plans for future development, marketing plans and strategies. Each of the Parties agrees that all Proprietary Information of the other party is and shall remain exclusively the property of that other party. The parties further acknowledge that the Proprietary Information

of the other party is a special, valuable, and unique asset of that party, and each of the Parties agrees that at all times during the terms of this Agreement and thereafter to keep in confidence and trust all Proprietary Information of the other party, whether such Proprietary Information was obtained or developed by the other party before, during or after the term of this Agreement. Each of the Parties agrees not to sell, distribute, disclose or use in any other unauthorized manner the Proprietary Information of the other party. Ryan Miller Architects further agrees that it will not sell, distribute or disclose information or the results of any investigation conducted by Ryan Miller Architects during the performance of the Work without the prior written approval of Client, unless required to do so by federal, state or local statute, ordinance or regulation.

INDEPENDENT CONTRACTOR

12. Both Client and Ryan Miller Architects agree that Ryan Miller Architects is an independent contractor in the performance of the Work under this Agreement. All persons or parties employed by Ryan Miller Architects in connection with the Work are the agents, employees, or subcontractors of Ryan Miller Architects and not of the Client. Accordingly, Ryan Miller Architects shall be responsible for payment of all taxes arising out of Ryan Miller Architects' activities in performing the Work under this Agreement.

ENTIRE AGREEMENT

13. This Agreement contains the entire agreement between the Parties pertaining to the subject matter contained in it and supersedes and replaces in its entirety all prior and contemporaneous proposals, agreements, representations and understandings of the Parties. The Parties have carefully read and understand the contents of this Agreement and sign their names to the same as their own free act.

INTEGRATION

14. This is a fully integrated Agreement. The terms of this Agreement may be modified only by a writing signed by both Parties. The terms of this Agreement were fully negotiated by the Parties and shall not be construed for or against the Client or Ryan Miller Architects but shall be interpreted in accordance with the general meaning of the language in an effort to reach the intended result.

MODIFICATION / WAIVER / PARTIAL INVALIDITY

15. Failure on the part of either party to complain of any act or omission of the other, or to declare the other party in default, shall not constitute a waiver by such party of its rights hereunder. If any provision of this Agreement or its application be unenforceable to any extent, the Parties agree that the remainder of this Agreement shall not be affected and shall be enforced to the greatest extent permitted by law.

INUREMENT / TITLES

16. Subject to any restrictions on transfers, assignments and encumbrances set forth herein, this Agreement shall inure to the benefit of and be binding upon the signatory Parties and their respective heirs, executors, legal representatives, successors, and assigns. Paragraph titles or captions contained in this Agreement are inserted only as a matter of convenience, and for reference only, and in no way limit, define, or extend the provisions of any paragraph, et al., incurred in that action or proceeding, in addition to any other relief to which it or they may be entitled.

AUTHORITY

17. Each of the persons executing this Agreement on behalf of a corporation does hereby covenant and warrant that the corporation is duly authorized and existing under the laws of its respective state of incorporation, that the corporation has and is qualified to do business in its respective state of incorporation, that the corporation has the full right and authority to enter into this Agreement, and that each person signing on behalf of the corporation is authorized to do so. If the Client is a joint venture, limited liability company, or a partnership, the signatories warrant that said entity is properly and duly organized and existing under the laws of the state of its formation and pursuant to the organizational and operating document of the entity, and the laws of the state of its formation, said signatory has authority to act on behalf of and to commit the entity to this Agreement.

COUNTERPARTS

18. This Agreement may be signed in counterparts by each of the Parties hereto and, taken together, the signed counterparts shall constitute a single document.

THIRD PARTY BENEFICIARIES / CONTROLLING LAW

19. There are no intended third party beneficiaries of this Agreement. The services, data, and opinions expressed by Ryan Miller Architects are for the sole use of the client, are for a particular project, and may not be relied upon by anyone other than the client. This Agreement shall be controlled by the laws of the State of California; any action by either party to enforce this Agreement shall be brought in Sonoma County, California.

TIME BAR TO LEGAL ACTION

20. Any legal actions by either party against the other related to this Agreement, shall be barred after one year has passed from the time the claimant knew or should have known of its claim, and under no circumstances shall be initiated after two years have passed from the date by which Ryan Miller Architects completes its services.