

AllWest Environmental

PROPERTY CONDITION ASSESSMENT

**Sonoma Country Day School, 4400 Day School Place
Santa Rosa, CA 95403**

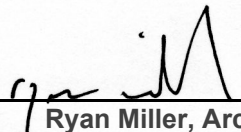


PREPARED FOR:

**Sonoma Country Day School
4400 Day School Place
Santa Rosa, California 95403**

**ALLWEST PROJECT 22088.60
November 9, 2022**

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TABLE OF CONTENTS

I.	EXECUTIVE SUMMARY	Page 1
A.	Property Description	Page 1
B.	Summary of Findings and Recommendations	Page 3
C.	Immediate Needs & Replacement Reserves	Page 4
D.	Immediate Needs & Replacement Reserves Spreadsheet.....	Page 4A
II.	REGULATORY REVIEW.....	Page 5
III.	PROPERTY CONDITION ASSESSMENT	Page 5
A.	<u>General</u>	Page 5
A.01	Introduction	Page 5
A.02	Property Summary Data	Page 6
A.03	Property Directory	Page 7
A.04	Utility Services	Page 7
B.	<u>Site Development & Landscaping</u>	Page 7
B.01	Landscaping & Irrigation.....	Page 7
B.02	Parking, Driveways, Concrete Sitework	Page 8
B.03	Site Drainage	Page 8
B.04	Miscellaneous Items and Support Structures	Page 9
B.05	Fencing and Screening	Page 9
B.06	Signs & Identification.....	Page 9
B.07	Stairs, Landings and Railings.....	Page 10
B.08	Service and Dock Areas	Page 10
C.	<u>Exterior Envelope</u>	Page 10
C.01	Roof and Accessories	Page 10
C.02	Exterior Finishes	Page 11
C.03	Doors, Windows and Skylights	Page 11
C.04	Patios, Terraces, Balconies and Trellises	Page 12
D.	<u>Structural Elements</u>	Page 12
D.01	Foundations	Page 12
D.02	Wall Construction	Page 12
D.03	Roof/Floor Framing	Page 12
E.	<u>Interior Finishes</u>	Page 13
E.01	Floor and Base Finishes.....	Page 13
E.02	Wall Finishes and Doors	Page 13
E.03	Ceiling Finishes.....	Page 14
E.04	Interior Stairs	Page 14
F.	<u>Equipment and Systems</u>	Page 14
F.01	Meters	Page 15
F.02	Mechanical - HVAC	Page 15
F.03	Electrical.....	Page 16
F.04	Gas.....	Page 17
F.05	Plumbing	Page 17

F.06	Fire Protection	Page 18
F.07	Other Systems	Page 19
F.08	Security System	Page 19
F.09	Vertical Transportation and Conveying Systems.....	Page 19
G.	<u>Accessibility Compliance</u>	Page 19
G.01	Parking	Page 20
G.02	Path of Travel	Page 20
G.03	Toilets/Plumbing Fixtures	Page 21
G.04	Elevators	Page 21
IV.	CONSULTANT'S QUALIFIERS	Page 21
FIGURES	Regional Map, Vicinity Map, and Aerial Photo	
PHOTOGRAPHS	Photos 1 through 94 and MEP Photos M1 through M34	
APPENDIX A	Aerial Map with Parcel Information, FEMA Map, Building Permit Information, Planning Information, Diagrammatic Site Plan, and County and Municipal Zoning Maps	
APPENDIX B	Annotated Satellite Photo with Roof Installation Dates, Vendor Documents, AllWest Client Questionnaire and Project Questions, and Playground Accessibility Drawing	
APPENDIX C	Mechanical Equipment List	
APPENDIX D	Authorization for Reliance and General Conditions	



PROPERTY CONDITION ASSESSMENT

**Sonoma Country Day School, 4400 Day School Place
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I. EXECUTIVE SUMMARY

AllWest has completed a Property Condition Assessment of the above referenced site in accordance with ASTM E2018-15. On October 10, 2022, we visited the property and observed the condition of the structure, interior areas and tenant spaces. Sean McFarland, the facilities manager at the school, provided interior and roof access during our site visit.

This Property Condition Assessment was conducted on behalf of Sonoma Country Day School in support of their planned capital improvements of the property.

During the preparation of this report, research was conducted with the Sonoma County Fire, Building and Planning Departments to obtain permit information and information concerning any active complaints, actions or violations at the subject property.

This Executive Summary is provided solely for the purpose of overview. Any party who relies on this report must read the full report. The Executive Summary may have omitted important details, any one of which could be crucial to the proper understanding of subject matter risk assessment.

The purpose of this report is to inform the reader of the existing condition of the civil, architectural and landscape components, as well as the mechanical, electrical, plumbing (MEP), and fire and life safety (FLS) equipment that comprise the property. The report also identifies what conditions, if any, should be corrected to improve building systems, appearance and performance over the next ten years.

A. PROPERTY DESCRIPTION

The Sonoma Country Day School (SCDS) is located on four legal parcels in Sonoma County. The property is developed as a private coeducational school serving grades K through 8. The site is

developed with two primary structures. The main school building (Main Bldg) was constructed in 1999, and contains 54,063 sq ft of floor area. It is a single-story structure with mezzanine, and houses classrooms, administration areas, a library, and an auditorium with ground floor and balcony seating (on the mezzanine level). The two-story gym building (Gym) was constructed in 2000 and contains 22,838 sq ft. It houses athletic facilities on the ground floor and classroom space on the second; the building contains 22,838 sq ft. At the Main Bldg, the elevation where the primary, formal entrance is located is the south elevation. At the Gym, the elevation which is closest and parallel to the north property line is the north elevation. These designations follow the naming conventions used in the original construction drawings.

The site is comprised of three irregularly-shaped parcels and one triangular parcel; they contain a reported total of 19.29 acres. The three western parcels are located within the Town of Windsor and have an LI (light industrial) zoning designation. The remaining parcel—which is the main portion of the property where the school buildings are found—is located in an unincorporated section of Sonoma County. The main parcel has a County zoning designation of PF (public facility) with an SR (scenic resource) overlay.

Building occupancies likely include A-1 (Assembly), B (Business), E (Educational) and S-1 (Moderate Hazard Storage). The construction is Type V-A, One hour fire resistive rated at the Main Bldg auditorium and Gym, and Type V-B, Non-fire resistive rated elsewhere.

The school is located one-quarter mile to the west of Highway 101 and directly north of Aviation Boulevard; the Charles M. Schulz Sonoma County Airport is roughly one mile to the west-southwest. The site is accessed by a two lane private drive, Day School Place, off Aviation Boulevard. The site surroundings include office park developments to the south; industrial buildings to the west, beyond a deactivated railroad right-of-way for the San Francisco & North Pacific Railroad; undeveloped land to the north; and a Kendall-Jackson vineyard to

the east. The site has a small change in elevation of three feet with the slope descending from south to north.

The site improvements appeared in “Good” condition. There are 55 delineated surface parking spaces, of which four are Accessible; four electric vehicle (EV) parking stalls with charging stations are also provided. The delineated parking—all of which is situated on the main parcel—appears compliant with the current requirements of the Sonoma County Code for off-street parking. Additional overflow parking, which is not delineated with striping, is provided on two of the three west parcels for an undetermined number of cars.

The majority of the site is dedicated to open space, including terraces adjacent to the buildings, playgrounds, and sports courts and fields. Landscaping includes mature trees, shrubs, ground cover and flowering plants. Planters and trellises are installed at the front and rear of the Main Bldg. The property has an automatic irrigation system with a programmable controller that provides water through an underground distribution system and end devices. A well provides irrigation water.

The building structural systems appeared in “Good” condition. The building structures consist of reinforced concrete slab-on-grade foundations with continuous perimeter spread footings. The Main Bldg is primarily a wood framed structure augmented with structural steel frames, particularly at the long span auditorium space. The Gym is a pre-fabricated steel building with second floor framing of steel deck supporting sheathing and a light weight concrete floor slab; a plywood deck is provided at the roof levels.

The exterior envelopes appeared in “Good” condition. The roofs include perimeter hip roofs of concrete barrel tiles surrounding flat roof elements. The Main Bldg roof consists of hip and flat roof elements framed in wood and supported by load bearing wood stud walls. The minimally-sloped flat roof areas are primarily surfaced with single-ply thermoplastic polyolefin (TPO) roofing systems; one small, flat roof area on the Main Bldg still has a built-up roofing (BUR) system, which dates to original construction; replacement of this older BUR system is planned to occur within the next two years. At the Main Bldg, TPO replacements began in the summer of 2013 and have continued up into 2022. The Gym roof includes flat and sloped sections of standing-seam metal roofing supported by the steel framing; hipped roofs with concrete barrel tiles are also installed along the building perimeter. There are also two small areas with original BUR systems on the Gym.

The building façades feature painted stucco with smooth-finish stucco details and monumental precast concrete column covers surrounding structural steel columns. Building exteriors were repainted during the summer of 2022. Significant expenses for complete exterior repainting of both buildings can be anticipated during the reserve term. Fenestration consists of aluminum storefront-type frames with dual-pane clear glazing. The exterior sides of all windows—and some interior sides—were also painted as part of the general exterior repainting in 2022.

Building interior finishes appeared in “Good” condition. The most common floor finishes are exposed polished concrete, broadloom carpet and marble tiles. Walls and ceilings are typically painted gypsum board, with suspended acoustical ceiling tile systems with stained wood planks also provided. Restroom finishes are painted gypsum board ceilings and walls, with ceramic or stone tile wainscots and flooring. Significant expenses for renewal of interior finishes in both buildings can be anticipated during the reserve term.

The MEP and FLS systems appeared in “Good” condition. Heating and cooling for the Main Bldg is provided by roof-mounted packaged air conditioners with integral natural gas-fired furnaces. There are also split system air conditioners with rooftop condensers and indoor fan coil units with integral gas-fired furnaces. The Gym Bldg has indoor four-pipe fan coil units (FCU); a chilled and hot water circulating system feeds the FCUs. Primary cooling is provided by an air-cooled chiller and primary heating is provided by a gas-fired boiler, each located on an outdoor equipment pad. Exhaust air requirements are handled by roof-mounted exhaust fans. Significant expenses for HVAC equipment replacement can be anticipated during the reserve term.

A utility owned, pad-mounted transformer provides power to the 277/480 volt, 3-phase, 4-wire primary switchgear, located within the main electrical room in the Main Bldg. The room houses the primary switchgear, rated at 1,600 amps, step-down transformers, and 120/208 volt panels. Wire-in-conduit runs feed smaller electrical rooms throughout both buildings with electrical distribution panels for lighting and power loads. The system is supplemented by a large solar photovoltaic system with 480 volt inverters.

Each building appears to be fully fire sprinklered with wet pipe systems. An 8” fire water service is provided and includes risers for each building and three fire hydrants on-site.

The condition of the vertical transportation and conveying systems appeared “Good.” The Main Bldg Auditorium is equipped with a stage lift, manufactured by *Porch-Lift* and rated at 750 pounds; it provides wheelchair occupant access to the stage from the lower seating area. The Gym is equipped with a 2,000 pound rated hydraulic passenger elevator, manufactured by *Otis*. Both vertical conveyance systems date to original construction. Significant expenses for elevator upgrades can be anticipated during the reserve term.

Accessibility throughout the site appeared in generally “Good” condition, though deficiencies, typically minor, were observed. The most notable deficiencies are a lack of Accessible drop-offs and non-compliant plumbing features.

For a parking facility with 55 stalls, the California Building Code (CBC) requires three Accessible stalls, one of which must be Van Accessible. One Van Accessible stall and three regular Accessible stalls are provided; this configuration meets current CBC requirements.

Path of travel, interior dimensions, door thresholds, and door hardware and widths generally appear to comply with Accessibility code requirements, as does the elevator cab.

B. SUMMARY OF FINDINGS

AllWest found the buildings and exterior site elements in generally “Good” condition. The following recommendations address deficiencies requiring remedial measures. AllWest was informed that many of the recommended remedial measures from our 2015 report—notably high-dollar items such as exterior repainting and replacement of roofing systems and HVAC equipment—have been undertaken over the last seven years.

Code/Life Safety & Immediate Needs Repairs

- Perform ground fault testing of breakers rated at 1,000 amps and higher on a triennial basis;
- Infrared scan electrical distribution equipment on a triennial basis;
- Install automatic seismic shutoff valve on natural gas supply main;
- Upgrade one fire alarm panel;
- Provide new parking Accessibility signage;

- Provide truncated domes in required locations;
- Provide compliant curb ramp on west side of Day School Place at Aviation Boulevard;
- Provide Accessible loading areas to the north and south of Main Bldg;
- Provide seven additional wheelchair spaces in auditorium;
- Provide compliant visually contrasting stripes on exterior and interior stairs;
- Provide second handrail at small concrete exterior stairs near southwest corner of Main Bldg;
- Provide remedial measures to address various plumbing and restroom deficiencies for Accessibility (four line items in spreadsheet).

Capital Expenditure

- Overlay asphalt at pedestrian path from street to on-site concrete walkway;
- Provide comprehensive asphalt repairs and resealing of playground, parking lot and access drives. This includes all regular parking stalls and Accessible and EV stalls;
- Both buildings: Replace original BUR roofing systems with a single-ply TPO systems (two line items in spreadsheet);
- Covered walkway: Replace the original BUR roofing system with a single-ply TPO system;
- Main Bldg: Provide remedial measures to address degradation of wood trim around clerestory windows;
- Main Bldg: Replace gutters on south elevation;
- Both buildings: Provide roof repairs to address known leaks;
- Both buildings: Repaint all building exterior elements provided with a paint finish (two line items in spreadsheet);

- Both buildings: Replace degraded translucent fiberglass panels at skylights and clerestory windows;
- Provide new kitchen/eating pavilion per SCDS planned capital improvements list;
- Gym: Provide interior repainting in various areas of the building per SCDS planned capital improvements list (three line items in spreadsheet);
- Main Bldg: Provide interior repainting in various areas of the building per SCDS planned capital improvements list (four line items in spreadsheet);
- Both buildings: Renew interior finishes in some interior areas per SCDS planned capital improvements list (four line items in spreadsheet);
- Main Bldg: Provide new furniture in administration office area per SCDS planned capital improvements list;
- Replace air cooled chiller;
- Replace natural gas-fired boiler with a high efficiency model;
- Replace natural gas-fired make-up air unit;
- Refurbish exhaust fans to ensure units reach the end of their serviceable lives;
- Replace approximately 1,000 four-foot fluorescent lamps with LED lamps;
- Replace approximately 200 two-foot fluorescent lamps with LED lamps;
- Replace approximately 100 compact fluorescent lamps with LED lamps;
- Replace 28 hand sink and lavatory faucets with solar faucets;
- Replace 17 urinals;
- Main Bldg: Replace water heaters as they reach the end of their serviceable lives (two line items in spreadsheet);
- Gym: Replace tankless water heaters;
- Both buildings: Reconfigure existing restrooms to provide gender inclusive restrooms per SCDS planned capital

improvements list (two line items in spreadsheet);

- Provide new audio/video equipment for outdoor events per SCDS capital improvements list;
- Both buildings: Provide various security system upgrades per SCDS capital improvements list;
- Modernize hydraulic passenger elevator.

C. IMMEDIATE REPAIRS & REPLACEMENT RESERVES

Immediate Needs

Immediate Needs are defined as physical deficiencies that require immediate action to correct (1) existing or potentially unsafe conditions; (2) significant negative conditions impacting marketability or habitability; (3) material building code violations; (4) poor or deteriorated condition of critical element or system; or (5) a condition that if left "as is" would cause or contribute to critical element or system failure within one year or a significant escalation in repair costs.

Immediate repair needs as indicated in the Immediate Needs & Replacement Reserves Analysis are **\$93,850**. Expenditures include, among others, periodic electrical tests, upgrading one fire alarm control panel, and Accessibility upgrades.

Replacement Reserves

Replacement Reserves are funds allocated for (1) priority-based repairs of physical deficiencies resulting from poor design, faulty installation, or the substandard quality of original systems or materials; (2) deferred maintenance; and (3) replacements of components or systems that have realized or exceeded their Expected Useful Life (EUL).

EUL is defined as the average amount of time in years that an item, component or system is estimated to function when installed new, assuming routine maintenance is practiced. AllWest applies EUL standards established by such organizations as the American Society of Heating, Refrigeration and Air-conditioning Engineering, Inc. (ASHRAE) and the U.S. Department of Housing and Urban Development (HUD), but may modify them following a subjective evaluation of an item, component or system by experienced, licensed professionals.

AllWest Project No:	22088.60
Building Age in Years:	23
No. of Floors:	One (Main Bldg) Two (Gym)
Approximate Gross Area:	76,901

IMMEDIATE NEEDS & REPLACEMENT RESERVE ANALYSIS

Sonoma County Day School

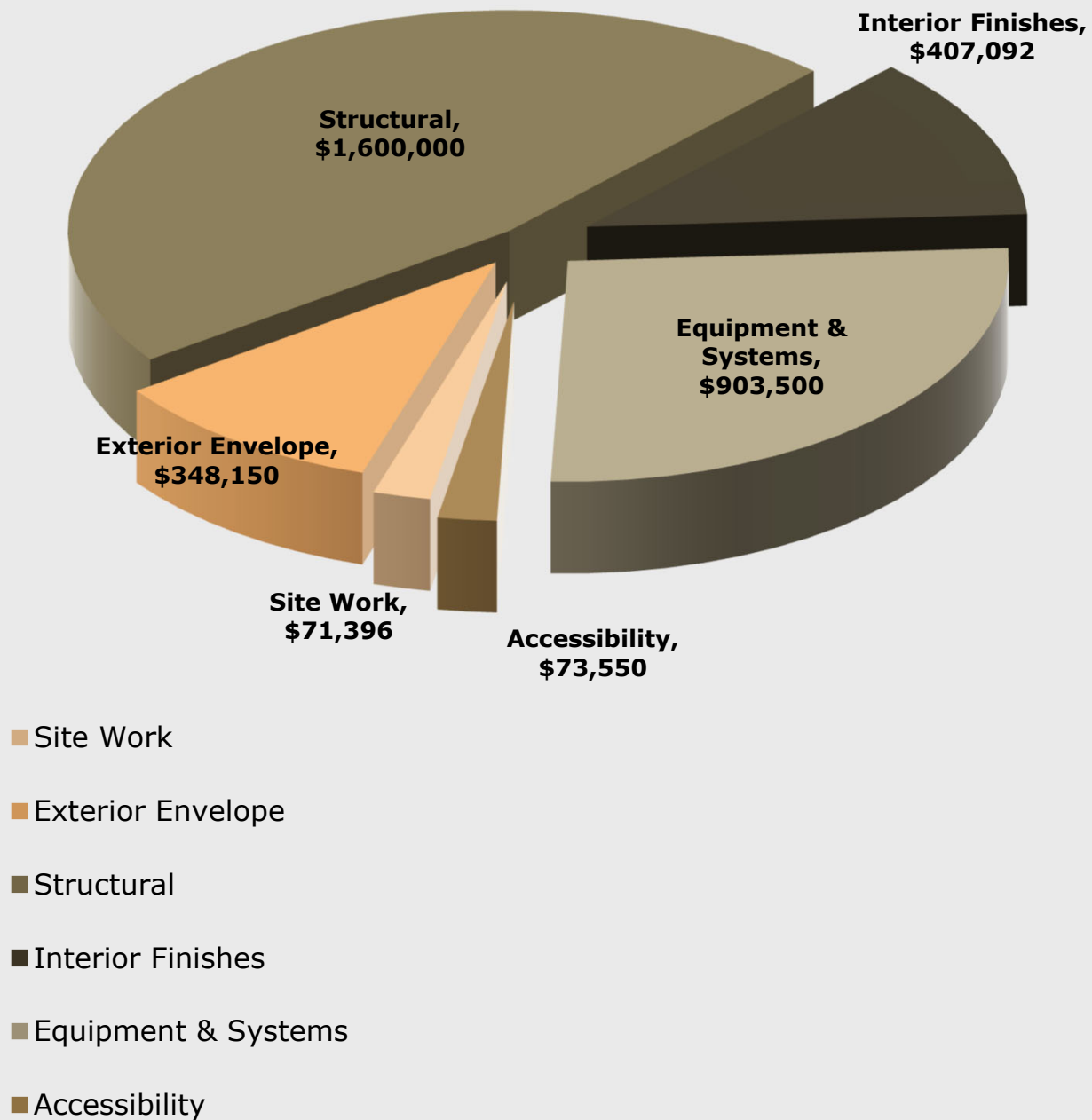
Santa Rosa, California



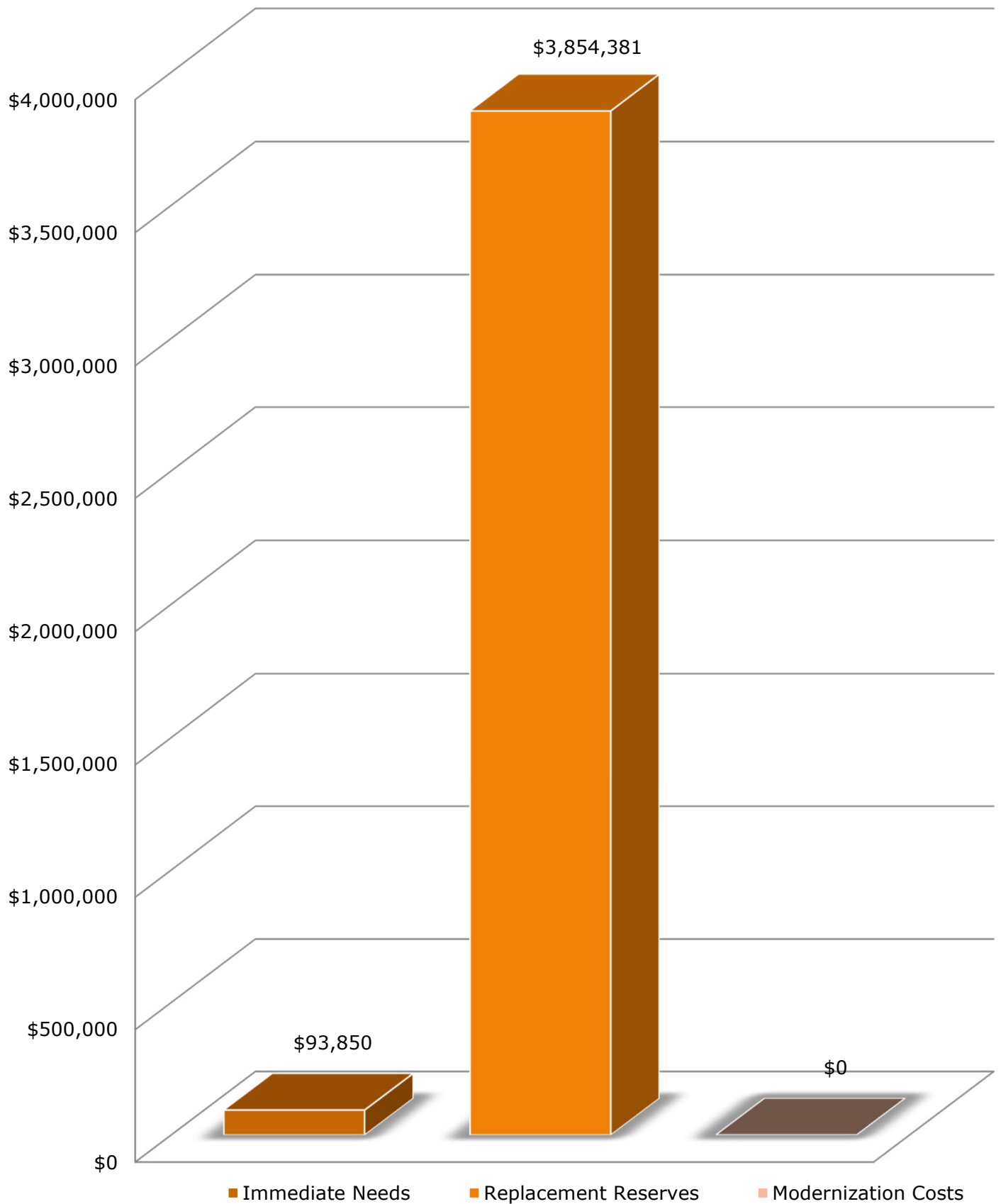
No	Sec	Photo No.	ITEM	Avg EUL (yr)	EFF AGE (yr)	RUL (yr)	Quantity	Unit	Cost Estimate Source	Unit Cost	Immediate Needs	Replacement Reserves										Years 1-10 Cumulative	Modernization Costs (Optional)			
												2023 Year 1	2024 Year 2	2025 Year 3	2026 Year 4	2027 Year 5	2028 Year 6	2029 Year 7	2030 Year 8	2031 Year 9	2032 Year 10					
SITE WORK																										
1	B.02	24	Overlay asphalt at pedestrian path from street to on-site concrete walks.	23	10	0	2,100	SF	Saylor	\$2.50		\$5,250										\$5,250				
2	B.02	14,20,29,30,67,77,80	Comprehensive asphalt repairs and resealing of playground, parking lot and access drives. This includes restriping all regular parking stalls and Accessible and EV stalls.	2	5	3	1	LS	Contractor	\$33,073.00				\$33,073				\$33,073				\$66,146				
EXTERIOR ENVELOPE																										
3	C.01	37	Main Bldg: Replace one original BUR roofing system with single-ply TPO system.	23	20	0	1,500	SF	Contractor	\$10.00		\$15,000										\$15,000				
4	C.01	81	Gym: Replace two original BUR roofing systems with single-ply TPO systems.	23	20	0	250	SF	Contractor	\$10.00		\$2,500										\$2,500				
5	C.01	89	Covered walkway: Replace the original BUR roofing system with single-ply TPO system.	23	20	0	950	SF	Contractor	\$10.00		\$9,500										\$9,500				
6	C.01	38	Main Bldg: Provide remedial measures to address degradation of wood trim around clerestory windows.	23	UNK	UNK	1	LS	Estimate	\$6,000.00		\$6,000										\$6,000				
7	C.01	90	Main Bldg: Replace leaking gutters on south elevation.	N/A	N/A	N/A	1	LS	Estimate	\$2,650.00		\$2,650										\$2,650				
8	C.01	60,91	Both buildings: Allowance to provide roof repairs to address known leaks.	N/A	N/A	N/A	1	LS	Estimate	\$7,500.00		\$7,500										\$7,500				
9	C.02	1-6	Main Bldg: Repaint all building exterior elements provided with a paint finish.	10	1	9	1	LS	Estimate	\$165,000.00									\$165,000			\$165,000				
10	C.02	12-15	Gym: Repaint all building exterior elements provided with a paint finish.	10	1	9	1	LS	Estimate	\$100,000.00									\$100,000			\$100,000				
11	C.03	39,40,60	Both buildings: Replace degraded translucent fiberglass panels at skylights and clerestory windows.	20	23	UNK	1	LS	Estimate	\$40,000.00			\$40,000									\$40,000				
STRUCTURAL ELEMENTS																										
12	D.	—	Provide new kitchen/eating pavilion.	N/A	N/A	N/A	4,000	SF	SCDS	\$400.00					\$1,600,000							\$1,600,000				
INTERIOR FINISHES																										
13	E.	57	Gym: Provide interior repainting in the main entrance foyer, restrooms and halls.	N/A	N/A	N/A	1	LS	SCDS	\$100,000.00		\$100,000										\$100,000				
14	E.	61	Gym: Provide interior repainting in the lower school halls and restrooms.	N/A	N/A	N/A	1	LS	SCDS	\$20,000.00		\$20,000										\$20,000				
15	E.	61	Gym: Provide interior repainting in the upper school halls and restrooms.	N/A	N/A	N/A	1	LS	SCDS	\$20,000.00		\$20,000										\$20,000				
16	E.	92	Main Bldg, West: Provide interior repainting in gallery.	N/A	N/A	N/A	1	LS	SCDS	\$8,500.00		\$8,500										\$8,500				
17	E.	43	Main Bldg, Center: Provide interior repainting in gallery.	N/A	N/A	N/A	1	LS	SCDS	\$35,000.00		\$35,000										\$35,000				
18	E.	94	Main Bldg, East: Provide interior repainting in gallery.	N/A	N/A	N/A	1	LS	SCDS	\$8,500.00		\$8,500										\$8,500				
19	E.	47,48	Main Bldg, Library: Provide interior repainting.	N/A	N/A	N/A	1	LS	SCDS	\$8,000.00		\$8,000										\$8,000				
20	E.	44,45,60,84	Both buildings: Provide new carpet in seating area of the auditorium and its balcony and in some areas of the Gym.	N/A	N/A	N/A	1	LS	SCDS	\$109,692.00			\$109,692									\$109,692				
21	E.	46	Main Bldg: Refurbish the stage in the auditorium.	N/A	N/A	N/A	1	LS	SCDS	\$24,900.00			\$24,900									\$24,900				
22	E.	43	Main Bldg: Sound mitigation for gallery.	N/A	N/A	N/A	1	LS	SCDS	\$40,000.00			\$40,000									\$40,000				
23	E.	—	Main Bldg: New interior wall between E3 and E4.	N/A	N/A	N/A	1	LS	SCDS	\$7,500.00			\$7,500									\$7,500				
24	E.	—	Main Bldg: Allowance for new furniture in administration offices.	N/A	N/A	N/A	1	LS	SCDS	\$25,000.00			\$25,000									\$25,000				
EQUIPMENT AND SYSTEMS																										
25	F.02	M-6	Replace air cooled chiller, based upon expected useful life (EUL) and existing condition.	25	20	5	1	EA	Estimate	\$250,000.00					\$250,000							\$250,000				
26	F.02	M-7	Replace natural gas fired boiler with a high efficiency model, based upon EUL and existing condition.	25	20	5	1	EA	Estimate	\$40,000.00					\$40,000							\$40,000				
27	F.02	M-8	Replace natural gas fired make-up air unit, based upon EUL and existing condition.	25	20	5	1	EA	Estimate	\$50,000.00					\$50,000							\$50,000				
28	F.02	M-10	Refurbish exhaust fans in order to ensure units reach the end of their serviceable lives.	35	20	15	10	EA	Estimate	\$750.00				\$1,500	\$1,500	\$1,500	\$1,500	\$1,500				\$7,500				
29	F.03	M-14, M-16	Replace approximately 1,000 4' fluorescent lamps with LED lamps.	N/A	N/A	N/A	1,000	EA	Estimate	\$20.00			\$20,000				\$20,000			\$20,000		\$60,000				
30	F.03	M-15	Replace approximately 200 2' fluorescent lamps with LED lamps.	N/A	N/A	N/A	200	EA	Estimate	\$20.00			\$4,000				\$4,000			\$4,000		\$12,000				
31	F.03	—	Replace 100 compact fluorescent lamps with LED lamps.	N/A	N/A	N/A	100	EA	Estimate	\$50.00			\$5,000				\$5,000			\$5,000		\$15,000				
32	F.03	M-11	Perform ground fault testing of breakers rated at 1,000 amps and higher as recommended by the NEC on a triennial basis.	N/A	N/A	N/A	2	EA	Estimate	\$800.00	\$1,600				\$1,600		\$1,600			\$1,600		\$4,800				
33	F.03	M-13	Perform infrared scanning of the electrical switchboards and circuit breakers on a triennial basis.	N/A	N/A	N/A	1	EA	Estimate	\$2,500.00	\$2,500				\$2,500		\$2,500			\$2,500		\$7,500				
34	F.04	M-19	Install automatic seismic shutoff valve on natural gas supply main for earthquake safety.	N/A	N/A	N/A	1	EA	Estimate	\$1,200.00	\$1,200											\$0				
35	F.05	M-22	Replace 28 lavatory faucets with new solar faucets, based upon EUL and existing condition.	20	20	0	28	EA	Estimate	\$550.00		\$7,700	\$7,700									\$15,400				
36	F.05	M-23	Replace 17 restroom urinals, based upon EUL and existing condition.	20	20	0	17	EA	Estimate	\$1,200.00		\$10,200	\$10,200									\$20,400				
37	F.05	M-24	Replace 6-gallon water electric water heaters as they reach the end of their serviceable lives in Main Building.	20	20	0	8	EA	Estimate	\$200.00			\$400	\$400	\$400	\$400						\$1,600				
38	F.05	M-25	Replace gas-fired water heater in kitchen of Main Building.	20	20	0	1	EA	Estimate	\$3,000.00					\$3,000							\$3,000				
39	F.05	—	Replace tankless water heaters in Gym as they reach the end of their serviceable lives.	20	20	0	2	EA	Estimate	\$3,000.00			\$3,000		\$3,000							\$6,000				
40	F.05	—	Main Bldg: Reconfigure existing restrooms to provide new gender inclusive restrooms.	N/A	N/A	N/A	1	L:S	SCDS	\$30,000.00				\$30,000								\$30,000				
41	F.05	—	Gym: Reconfigure existing restrooms to provide new gender inclusive restrooms.	N/A	N/A	N/A	1	L:S	SCDS	\$40,000.00				\$40,000								\$40,000				
42	F.06	M-28	Upgrade one fire alarm panel, based upon EUL and existing condition.	15	20	0	1	EA	Estimate	\$15,000.00	\$15,000											\$0				
43	F.07	—	Provide new audio/video equipment for outdoor events per SCDS capital improvements list.	N/A	N/A	N/A	1	LS	SCDS	\$20,000.00			\$20,000									\$20,000				
44	F.08	M-31	Both buildings: Provide various security system upgrades per SCDS capital improvements list.	N/A	N/A	N/A	1	LS	SCDS	\$25,000.00			\$25,000									\$25,000				
45	F.09	M-32	Modernize hydraulic elevator, based upon EUL and existing condition. Cost includes cab upgrades.	25	20	5	1	EA	Estimate	\$275,000.00					\$275,000							\$275,000				
ACCESSIBILITY COMPLIANCE																										
46	G.01	82	Provide new parking Accessibility signage.	N/A	N/A	N/A	1	LS	Estimate	\$1,500.00	\$1,500											\$0				

TOTAL EXPENSES BY CATEGORY

**(Immediate Needs and Replacement
Reserves)**



EXPENSE BY TYPE



The 10-year replacement reserves are estimated at **\$3,854,381**, which includes a 5.0% per year inflation factor for the first two years of the spreadsheet and a 2.5 % per year thereafter. Expenditures include, among others, building exterior repainting, replacement of HVAC components, and renewal of interior finishes and furniture.

II. REGULATORY REVIEW

The buildings were designed to meet the prevailing building codes at the time of original design and permitting, presumably the 1997 Uniform Building Code (UBC). This was the first post-Northridge earthquake building code and it contained significantly more stringent seismic performance requirements than previous editions of the UBC.

AllWest conducted research with agencies of Sonoma County for information concerning permits and violations from the Fire, Building and Planning Departments. No derogatory information was uncovered. One open permit is on record, No. BLD21-8581, dated November 11, 2021, for rooftop HVAC change-outs.

Permit No. BLD00-3137, dated July 11, 2000, is indicated to have expired. AllWest recommends that measure be taken to formally close this permit with the Building Department; there is no cost estimate associated with this recommendation.

Additional documents reviewed include:

1. Original architectural construction drawings for the Main Bldg prepared by Alfred H Cook, AIA, April 30, 1999;
2. Original architectural construction drawings for the Gym prepared by Alfred H Cook, AIA, October 5, 2000;
3. Original civil engineering construction drawings for the Main Bldg prepared by Brelje & Race Consulting Civil Engineers, dated May 28, 1999;
4. Original structural engineering construction drawings for the Main Bldg prepared by B.G. Structural Engineering, dated April 30, 1999;
5. Original mechanical, electrical and plumbing construction drawings for the Main Bldg prepared by TMAD Engineers, dated October 9, 1998;

6. Mechanical, electrical and plumbing construction drawings for the Gym with various dates in 2000;
7. Sonoma County Code;
8. Sonoma County GIS map;
9. Sonoma County Assessor's information summary;
10. Sonoma County building permit records.

The three western parcels are located within the Town of Windsor and zoned LI (light industrial). These parcels are undeveloped with the exception of containing overflow parking and a solar panel array. The remaining parcel is located in an unincorporated portion of Sonoma County, and is zoned PF (public facility) with an SR (scenic resource) overlay.

The subject property appears in general compliance with the requirements of the Sonoma County Code and the CBC, though a small number of generally minor deficiencies were observed concerning current CBC Disabled Accessibility requirements.

Copies of pertinent documents are included in the Appendix.

III. PROPERTY CONDITION ASSESSMENT

Please refer to the attached Figures and Photos to supplement the site descriptions and building conditions.

A. GENERAL

A.01 INTRODUCTION

Vehicular access to the school property is controlled by a security guard kiosk located along Day School Place. Student drop-off is adjacent to the south elevation of the Main Bldg; student pick-up is adjacent to the north elevation.

Both buildings have been executed in the Italian Mediterranean style—similar to many other nearby wine country structures—with hipped and gabled roofs topped with reddish-brown concrete barrel tiles. Gabled roof porches are supported by monumental columns, and covered walkways serve the facility. Covered arcades are provided along some elevations.

The core of the Main Bldg contains the auditorium, which is surrounded by four wings with distinct functions:

- The southwest wing, containing administration areas;
- The southeast wing, containing the library, kitchen and staff spaces;
- The northeast wing, containing the upper school classrooms;
- The northwest wing, containing the lower school classrooms.

The school grounds contain a myriad of outdoor spaces. Major areas include a spacious terrace forecourt at the Main Bldg entrance that serves as the drop-off entrance in the morning and includes wisteria laden trellis structures, raised planters and integrally colored concrete-paved function spaces. A less formal afternoon pick-up plaza is located at the rear of the building; it includes a semi-circular shade structure as well as a variety of hard surfaced patios and raised planters.

The main playing fields are located east of the Main Bldg and south of the Gym; they include a baseball field and gardens. The hard surface courts are east of the Gym, and include basketball courts, a play equipment area and playgrounds. Off the northwest wing of the Main Bldg is a fenced-in area that serves as the lower school playground, which includes play equipment and shade structures. A site plan illustrating the overall layout has been included in the Appendix.

The property appears well maintained by the in-house facility manager and his in-house staff of one, as well as by outside contract service providers, when required.

A.02 PROPERTY SUMMARY DATA

Assessor's Parcel Numbers:

- 059-350-094 (Main parcel)
- 059-271-064 (Parcel with solar array and remote parking)
- 059-271-063 (Parcel with remote parking)
- 059-271-062 (Vacant parcel with drive aisle leading to solar array)

Address:

4400 Day School Place
Santa Rosa, CA 95403

Zoning:

PF (Public Facility): Sonoma County
SR (Scenic Resource) Overlay: Sonoma County
LI Light Industrial) three west parcels: Town of Windsor

Occupancy Type:

Main Bldg: A-1, B & E
Gym: A-1, E & S-1

Construction System:

Main Bldg: Primarily wood-framed with additional steel framing
Gym: Pre-fabricated steel frame

Construction Type:

Main Bldg: Type V-A, One-Hour at auditorium and corridors
Type V-B, Non-Rated elsewhere
Gym: Type V-A, One-Hour

Original Construction Permit Year of Issuance:

Main Bldg: 1999
Gym: 2000

Seismic Retrofit:

Not applicable

Flood Zone:

FEMA Flood Zone X (unshaded)

Site Area:

19.29 Acres

No. of Buildings:

Two

Floor Area:

Main Bldg: 54,063 sq ft
Gym: 22,838 sq ft
Total 76,901 sq ft

No. of Stories:

Main Bldg: One + Balcony at Auditorium
Gym: Two

Approximate Height:

32' – 0" at both buildings

Parking:

55 stalls

Accessible Parking:

Four Accessible stalls, one of which is Van Accessible; meets Accessibility code requirements for the number of stalls provided.

Path of Travel:

Generally meets Accessibility code requirements, with deficiencies.

Restrooms:

Generally meet Accessibility code requirements, with deficiencies.

A.03 PROPERTY DIRECTORY

Owner:

Sonoma Country Day School
4400 Day School Place
Santa Rosa, CA 95403

Architect of Record:

Alfred H. Cook, A.I.A.
73-301 Pinyon Street
Palm Desert, CA 92260

Structural Engineer of Record-Main Bldg:

B.G. Structural
45-535 Via Corona
Indian Wells, CA 92210

Structural Engineer of Record-Gym:

CBC Steel Buildings
1700 E. Louis Avenue
Lathrope, CA 95330

Landscape Architects:

EDAW, Inc.
1505 Western Ave, #601
Seattle, WA 98101

Civil Engineer:

Brelje & Race
5570 Skyline Boulevard
Santa Rosa, CA 95402

Electrical Engineer:

Braden Professional Engineering
141 Stony Circle, Suite 220
Santa Rosa, CA 95401

Mechanical Engineer:

TMAD Engineers
500 East E Street
Ontario, CA 91764

Plumbing Engineer:

The Engineering Partnership
4916 Kingston Court
258 Dutton Avenue
Santa Rosa, CA 95405

Soil Investigation Engineer:

Giblin Associates
Po Box 6172
Santa Rosa, CA 95406

Chiller Maintenance:

American Chiller Systems
1180 Holm Road, Suite C
Petaluma, CA 95954

Fire Alarm Monitoring:

Major Alarm Inc.
1160 Industrial Ave., Suite G
Petaluma, CA 94952

Fire Sprinkler Testing:

Axcel Fire Systems, Inc.
7975 Cameron Dr. #100
Windsor, CA 95492

Elevator Maintenance:

Otis Elevator
520 Mendocino Avenue
Santa Rosa, CA 95401

A.04 UTILITY SERVICES

Water:

Town of Windsor

Sewer:

Sonoma County Water Agency/Town of Windsor

Electricity:

Sonoma Clean Power/ Pacific Gas & Electric (PG&E)

Gas:

PG&E

B. SITE DEVELOPMENT & LANDSCAPING

Mature landscaping is provided and watered by an automatic irrigation system. Delineated off-street parking for 55 cars is provided in the at-grade lots on the main parcel. Non-delineated parking for an unspecified number of cars is provided on two of the west parcels. Good drainage characteristics should prevail.

B.01 LANDSCAPING & IRRIGATION

The physical condition of the landscaping and irrigation appeared "Good," with deficiencies noted.

The subject property includes generous landscaping along building façades, as well as at a variety of function areas and ancillary structures. Raised planters and grass lawns are used as decorative landscape elements. Additionally, the large grass field provides sports areas for, at a minimum, soccer, baseball and softball. Mature trees, shrubs, ground cover and flowering plants are found in numerous areas around the site.

Plants and grass appeared well-maintained and healthy.

In some landscaped areas, wood chips are provided as a substitute for planted ground cover. Some of these areas, particularly on the south side of the Main Bldg, require chip renewal. This is an ongoing maintenance expense and a cost estimate is not included in the spreadsheet.

The property has an automatic irrigation system with a programmable controller that provides water through an underground distribution system and end devices to landscaping elements and turf; the large field to the east of the Main Bldg is also irrigated. A well with an electrical submersible pump provides irrigation water at the property; the well does not provide potable water.

The school contracts with an independent landscape maintenance provider to tend to the grounds.

B.02 PARKING, DRIVEWAYS & CONCRETE SITEWORK

The physical condition of the parking, driveways and concrete sitework appeared “Good,” with deficiencies noted.

A public sidewalk is not provided along the Aviation Boulevard street frontage of the main east parcel, though a concrete curb ramp is provided on the east side of the drive entrance onto Day School Place. A short concrete sidewalk—without a curb ramp—is installed on the south end of the triangular parcel on the west side of Day School Place. Sonoma County does not appear to have a sidewalk maintenance program in effect.

A 6' wide asphalt path, which communicates with the curb ramp, is provided from the public right of way along the east side of Day School Place and leads to the grounds of the school, connecting to a concrete walkway. A network of cast-in-place concrete walkways and curbs encircle the buildings and connect the outdoor function areas. The asphalt walk shows significant longitudinal cracking along its entire length; a full depth asphaltic overlay is recommended.

Concrete walks, stairs and terraces are provided. Enclosed courtyards are also concrete-paved. Concrete is cast-in-place with integral color in many locations. All concrete sitework appeared in generally “Good” condition with the exception of limited locations where the raised planter edges or curbs have been cracked or broken. Minor repairs should be provided to address these deficiencies as

part of ongoing regular maintenance; a cost estimate is not included in the spreadsheet.

Plastic expansion joint caps are in the joints of the plaza that fronts the Gym; these caps have become brittle with age and have decomposed egregiously; AllWest recommends their replacement. This is a minor maintenance issue; a cost estimate is not included in the spreadsheet.

The asphalt-paved approach drive (Day School Place) leads past the security guard kiosk to a morning drop-off loop at the front entrance of the Main Bldg. The entrance drive extends along the west perimeter to a pick-up loop at the rear of the Main Bldg, designed for use at the end of the school day. Fifty-five paved parking stalls are provided along this circulation drive. Four EV stalls with charging stations are provided on the west side of the Main Bldg.

The asphalt drive, parking areas and playground appeared in “Good” condition; they were reported to have last been resealed and restriped in September of 2020. AllWest recommends that asphalt paved surfaces be resealed and restriped on a five year schedule.

Additional overflow parking, which is not delineated with striping, is provided on two of the three west parcels for an undetermined number of cars. Periodic maintenance of this lot is performed by the in-house staff on an as-needed basis. There is a short gravel-paved path for vehicles near the southeast corner of the Main Bldg. Minor erosion of the gravel has occurred; replenishment is recommended. Maintenance of the gravel-paved areas is a matter of routine maintenance and cost estimates for remedial measures are not included in the spreadsheet.

Estimates for work relating to the asphalt-paved areas are included in the Immediate Needs & Replacement Reserves Analysis.

B.03 SITE DRAINAGE

The physical condition of the site drainage appeared “Good.”

The site was observed in dry weather. The subject property is located in FEMA Flood Zone X (unshaded) per FIRM Panel No. 06097C0568E, dated December 2, 2008. FEMA describes this Flood Zone as an area of minimal flood hazard that is determined to be outside the Special Flood Hazard Area and higher than the elevation of the 0.2 percent annual chance (or 500-year) flood.

The concrete surfaces adjacent to buildings typically slope away from the structures into landscaped areas; catch basins are found within the paved areas, in planters and within grass areas throughout the site. Asphalt paving is typically sloped to area drains. Concrete swales are installed in some locations within the parking areas and drive aisles.

The site is essentially flat, having a small change in elevation of 3 feet with the slope descending from south to north. Generally, the site's slopes should pose no apparent adverse conditions for drainage. No signs of excessive ponding were noted. No incidences of flooding inside the buildings have been reported over the last 8.5 years, the term of Sean McFarland's employment at the school as its Facilities Manager.

B.04 MISCELLANEOUS ITEMS & SUPPORT STRUCTURES

The physical condition of miscellaneous items and support structures appeared "Good," with deficiencies noted.

Several art and garden installations are located around the site. A semi-circular covered arcade at the drop-off area provides shade and rain protection. A sloped barrel tile roof is supported by oversize painted wood roof rafters and beams supported by braced wood posts on concrete bases. Minor degradation of the paint finish on some arcade wood structural elements was observed; spot repainting is recommended. This is a minor maintenance issue; a cost estimate is not included in the spreadsheet.

Wood trellis structures of similar construction create a forecourt at the Main Bldg front entrance. A fenced children's play area with wood chip groundcover is located just west of the elementary classrooms; it contains a number of play structures, as do the play areas along the eastern portion of the property.

A small fountain located in the courtyard at the northeast wing was not operating; Sean McFarland indicated it was turned off as a water conservation measure. A 4' x 6' guard kiosk constructed of materials that mimic those of the school buildings was added within the approach drive in 2007.

A wood-framed and -clad shed houses the well pump equipment. The top of the shed is open to the sky and has a chain-link fencing cover over its top. It is located 100 feet to the southeast of the southeast corner of the Gym. Another wood-framed and -clad shed is located near the northeast corner of the Gym; it is used for paint storage. This shed

has asphalt composite shingles on an open gabled roof shape. A painted wood trellis enclosure is adjacent to this shed.

Refuse enclosures are provided near the east elevation of the Main Bldg and north elevation of the Gym. They are constructed of stucco coated concrete masonry unit (CMU) walls and steel framed wood faced gates. A painted wood trellis enclosure is provided at the northeast corner of the Gym along its north elevation; the enclosure contains HVAC equipment.

A solar array has been installed at the westernmost portion of the overflow parking area; this is described in Section F.03.

B.05 FENCING & SCREENING

The physical condition of fencing and screening appeared "Good."

Wood latticework with a solid color stain finish is used frequently on site to screen equipment and storage areas and terraces. A wrought iron decorative fence with a curvilinear layout encircles the elementary classroom exterior playground.

Wire fencing supported by wood posts separates the subject property from the undeveloped lot to the north and vineyards to the east. Woven wire fencing is also employed to protect the solar array to the west of the overflow parking lot.

There is a dilapidated wire fence with steel and wood posts adjacent to the east side of the railroad right-of-way. Sean McFarland did not know who has financial responsibility for this fence. AllWest makes no recommendation concerning this fence.

B.06 SIGNS & IDENTIFICATION

The physical condition of signage appeared "Good."

The monument sign located near the intersection of Aviation Boulevard and Day School Place consists of a metal box sign identifying the school atop a flared concrete base. Affixed to the concrete base are separate metal letters identifying the Jackson Theater, which is located within the school. A rectangular concrete pedestal is adjacent to the monument sign and supports a painted sculptural artwork. The street address is provided on the west wall of the Main Bldg southwest wing in individual 8" bronze numerals.

There are wall-mounted bronze plaques at the main entrance identifying the school as well as a dedication plaque; an inscribed granite slab is provided at the Main Bldg entrance. At the rear

drop-off area, 8" individual bronze letters are mounted on a low concrete wall identifying the "Lasseter Center for the Arts."

B.07 STAIRS, LANDINGS & RAILINGS

The physical condition of exterior stairs, landings and railings appeared "Good."

The Main Bldg entrance terrace is accessed at its center by a wide cast-in-place concrete stair with three risers and is flanked by ramps which encircle trellis structures. The stairs have stainless steel tube railings at regular intervals and grooved stripes located at tread nosings.

Near the southwest corner of the Main Bldg is a small cast-in-place concrete stair. A stainless steel tube railing is installed on one side only; visually contrasting stripes are provided on each tread, though they are in a degraded condition.

B.08 SERVICE & DOCK AREAS

Loading docks are not provided. A pair of roll-up doors provides access to two storage rooms on the east elevation of the Gym.

C. EXTERIOR ENVELOPE

The two school structures share a similar design vocabulary consisting of low-slung Mediterranean forms featuring monumental columned entrances. Materials include stucco walls with painted aluminum window frames. Horizontal banding in smooth-trowel stucco and with a slightly contrasting, darker tan color is used as an accent. Splayed wood posts support deep overhanging eaves and covered walkways. Buildings are topped by barrel tile hipped and gabled roof forms. Beyond the visible barrel tile roofs at the perimeters, hipped standing-seam metal roofing is used over the large span spaces of the Gym. Mechanical roof wells are finished with TPO roofing systems, except for one small BUR system on the Main Bldg and two on the Gym.

C.01 ROOF & ACCESSORIES

The physical condition of the roof and accessories appeared "Good," with deficiencies noted.

The Main Bldg includes a number of different roof types. Hipped and gabled roof forms surround the perimeter and create gable end features at all four façades, primarily over the main entrances; they are finished with reddish-brown concrete barrel tiles. At the southeast and southwest wings of the

Main Bldg, gabled roofs are flanked by minimally sloped areas with TPO systems and the one remaining, original BUR system over the southeast wing.

The northeast wing is capped by a hipped, barrel tile roof at its perimeter, with minimally sloped TPO areas. A lower, minimally sloped TPO area is found at the center of the wing; this roof is surrounded by parapets along the center courtyard and clerestory windows at the classrooms; mechanical equipment is located in the well that is created. The northwest wing is similar, with a higher flat roof surrounding a mechanical well which provides light to clerestory windows at the classrooms.

Beginning in 2013 and continuing to as recently as May of 2022, the original BUR roofing systems on the Main Bldg have been replaced with single-ply TPO systems. Only one small area of BUR roofing remains near the southeast corner of the building; it is slated for replacement within the next two years. An estimate for replacement is included in the spreadsheet.

An annotated satellite photo indicating the dates that TPO systems were installed on the various roofing areas of the Main Bldg is included in the Appendix.

The roof membrane typically extends up the sloped interior walls of the parapets; vertical well walls are shingled, with the exception of the walls directly adjacent to the clerestory windows which are sheathed in stained vertical wood planks.

The vertical wood siding which frames the clerestory windows was originally provided with a stain which has largely degraded in most locations. Remedial measures to address this degradation are recommended.

Perimeter hipped roofs with concrete barrel tiles are provided at the Gym, along with minimally-sloped flat areas and sloped roofs with standing-seam metal roofing systems. The sports floor roof steps up from the main roofs, creating a well at its perimeter that allows light to the clerestory windows surrounding the sports floor. The roof surrounding the raised central roof section is a minimally sloped, standing-seam metal system with gutters and internal drains. The drains appear to be lined with a TPO membrane for a water-tight assembly. Two small areas of the Gym roof are capped with a BUR system; replacement of the BUR systems is recommended.

Intermittent roof leaks were reported by Sean McFarland; he wrote in his response to a series of questions submitted to him by AllWest:

As of spring 2022, there was a significant leak at the lower school indoor courtyard coming from in the area where the flat roof met the parapet wall. A roofing contractor was contacted, and the drainage scupper was rebuilt with new TPO. The leak persisted, and now will require the replacement of the OSB below the roofing system. The school is waiting for further rains to determine if the leak is persisting after the replacement of the Rooftop HVAC units.

Intermittent leaks were also reported at one other location on the Main Bldg, as well as on the Gym at a skylight and at a clerestory window. AllWest is including a contingency allowance for repairs to address the above leaks in the spreadsheet.

The covered walkway near the northeast corner of the Main Bldg has a BUR system that dates to original construction; replacement with a TPO system is recommended.

Metal roofs have an anticipated EUL of 30-50 years with proper maintenance; replacement is not anticipated during the reserve term.

Annual roof maintenance is conducted by the in-house staff in the fall of each year before the start of the rainy season.

Standing seam metal roofing systems typically have a 30-year warranty for their *Kynar* coating and these roofing systems likely remain within their warranty periods for the coating. The older BUR systems have exceeded their likely 15- or 20-year warranties. The newer, 60 mil TPO tear-off systems installed between 2013 and 2022 have 20-year warranties and remain within their warranty periods.

Roof Drainage

The physical condition of the roof drainage appeared "Good."

Many of the barrel tiled sloped roofs shed water directly onto the pavement below where water is conducted by sheet flow to adjacent landscaping and catch basins. Larger sloped roof areas drain to an edge gutter with perimeter wall-mounted downspouts that conduct the water to the municipal storm water system. The flat roof areas of the Main Bldg drain toward through-parapet scuppers to exterior wall-mounted downspouts that conduct rain water to the storm water system.

The roof of the Gym is drained via TPO lined gutters. A continuous gutter surrounds the upper roof over the sports floor; the surrounding standing-seam roofs typically drain to the back of the hipped

roofs; the drains conduct the water via internal piping which connects to the storm water system, while the overflows typically discharge at the roof soffits.

Sean McFarland reported leaking gutters on the south elevation of the Main Bldg; gutter replacement is recommended.

The costs for various remedial measures to address deficiencies with the roofing systems are included in the Immediate Needs & Replacement Reserves Analysis.

C.02 EXTERIOR FINISHES

The physical condition of the building exterior finishes appeared "Good," with deficiencies noted.

Both buildings use similar exterior materials. Earth tone stucco walls with pale smooth-finish stucco trim at windows are provided, along with stucco finish horizontal banding and bases. Cast concrete columns are also used at the main entrances at both buildings. Roofs extend to form deep overhangs over exterior circulation paths, supported by exposed wood rafters, beams and splayed wood posts. Some applied foam trim appears to have been used along soffit lines. The walls are typically in "Good" condition; the building exteriors were reportedly repainted in the summer of 2022. Minor damage to paint finishes on a small number of exterior wood structural elements was observed; touch-up painting is recommended. In a few locations, what AllWest presumes are spider webs on exterior walls were observed; cleaning is recommended. These are minor repairs and cost estimates are not included in the spreadsheet.

Exterior paint typically requires re-application on a ten-year cycle; re-painting of the exteriors of both buildings is anticipated late during the reserve term.

Cost estimates for exterior repainting are included in the Immediate Needs & Replacement Reserves Analysis.

C.03 DOORS, WINDOWS & SKYLIGHTS

The physical condition of doors, windows and skylights appeared "Good," with deficiencies noted.

Windows are dual-pane, clear glass in aluminum frames; matching storefront sections are used at the main entrances and lobby areas. The exterior sides of all windows—and some interior sides—were repainted a tan color, which matches the color

of the exterior walls, as part of the general exterior repainting in 2022. Expanses of fenestration with translucent fiberglass panels are provided at the Gym above the basketball court. Window sealants and caulking appeared in "Good" condition.

Aluminum frame French doors with lever handles set in storefront sections match the color and style of the building fenestration. Steel doors, some with small glass lites, are used at service entrances. On the Gym's east elevation, two overhead sectional coiling metal doors serve large storage areas and the maintenance shop.

Skylights at both buildings consist of translucent fiberglass panels set in aluminum frames. A large gabled skylight is provided over the Main Bldg northeast wing; the Gym employs flat skylights surrounding the basketball court. Smaller square skylights with clear anodized aluminum frames and domed, translucent white plastic lenses are also installed on the Main Bldg.

Clerestory windows with clear glass look out to roof wells at the Main Bldg northeast and northwest wings. Clerestory windows surround the upper roof of the Gym as well; these are fitted with fiberglass panels. The fiberglass panels in skylights and clerestory windows show deterioration and yellowing due to age, but remain serviceable. Their replacement is recommended.

An estimate to replace the fiberglass panels at the Gym skylights and clerestories is included in the Immediate Needs & Replacement Reserves Analysis.

C.04 PATIOS, TERRACES & BALCONIES

The physical condition of terraces appeared "Good."

Patios and exterior balconies are not provided.

Both buildings have expanses of concrete paving around them and some areas have been provided with outdoor furniture to create seating areas. Painted, wood-framed pergolas are used as architectural accents at some seating areas.

D. STRUCTURAL ELEMENTS

Although the two buildings share a similar exterior design vocabulary, they are structurally dissimilar. The Main Bldg is primarily a wood framed structure with wood trusses supporting a wood sheathed roof deck. The structure is augmented with structural steel frames; the auditorium roof is supported by

steel trusses supported by steel beams. The Gym is a pre-fabricated steel structure, with prefabricated steel beams supporting corrugated steel roof and floor decking.

The buildings were likely built in accordance with the 1997 UBC, which was the first building code following the Northridge earthquake. The 1997 edition of the UBC had seismic performance design requirements that were significantly more stringent than those found in previous editions.

Sean McFarland reports that the site is not located on artificial fill; no instances of soil subsidence or slab settlement were reported. The SCDS list of planned capital improvements calls for the construction of a new 4,000 sq ft kitchen/eating pavilion: an agreed upon cost estimate is included in the Immediate Needs & Replacement Reserves Analysis.

D.01 FOUNDATIONS

The physical condition of foundations appeared "Good."

The buildings are constructed with on-grade concrete floor slabs over conventional, continuous spread footings. Floor slabs, where exposed, appear generally free of differential settlement or subsidence and egregious cracking. Minor meandering cracks in the concrete slabs were observed, but do not warrant a recommendation for remedial measures. No known issues of differential settlement or subsidence were reported by Sean McFarland.

D.02 WALL CONSTRUCTION

The physical condition of the wall construction appeared "Good."

Exterior walls typically have 2x wood or steel stud framing. Interior walls are typically non-load bearing, consisting of steel stud or wood stud construction with painted gypsum board finishes. All walls observed during the site visit appeared plumb.

D.03 ROOF/FLOOR FRAMING

The physical condition of roof and floor structural framing appeared "Good."

The Main Bldg roof framing consists of wood TJI trusses with 5/8" CDX plywood roof sheathing. The roof over the auditorium is supported by steel trusses bearing on steel beams and columns. Primary support for the balcony is provided by steel beams. Framing is typically not observable except

in the library and the reception area of the administration offices where the wood roof trusses are exposed.

The Gym roof consists of corrugated steel decking supported by the pre-fabricated steel frame. Second floor framing consists of a 1-1/2" to 3" light weight concrete pour over plywood supported by steel joists and beams; a plywood deck is provided at roof levels. Framing is typically not observable except over the basketball court where the painted steel roof structure is readily visible. No anomalies were observed with the floor and roof framing systems.

E. INTERIOR FINISHES

Interior finishes have been selected to serve the many functions of the facility. While the classroom finishes are well suited to constant traffic and heavy use, the school also houses facilities that are frequently used by the community, where more refined finishes are appropriate.

All interior finishes are suited for their uses and are well maintained. Wear and tear commensurate with use was observed on interior floor, wall and ceiling finishes. All classroom interiors were repainted in 2021. All carpeting in both buildings was replaced in 2021. Common area repainting is scheduled for November-December 2022.

Sean McFarland provided AllWest with a list of planned capital improvements at the school. The improvements include interior repainting as outlined below:

- Gym: Foyer, restroom, and hall;
- Main Bldg: Lower school hallway and restrooms;
- Main Bldg: Upper school hallway and restrooms;
- Main Bldg: West gallery;
- Main Bldg: Center gallery;
- Main Bldg: East gallery;
- Main Bldg: Library.

Proposed interior area capital improvements also include new carpet in the auditorium, balcony and in some areas of the Gym; auditorium stage refurbishment; sound mitigation in the Main Bldg gallery; a new interior wall between E3 and E4 of the Main Bldg; and new furniture in the administration offices.

Cost estimates for these interior finish improvements are included in the Immediate Needs & Replacement Reserves Analysis.

E.01 FLOOR & BASE FINISHES

The physical condition of floor finishes appeared "Good."

Main Bldg:

Classroom floors are typically finished with broadloom carpet in grey tones with matching carpet base. In classrooms that see heavy use, such as art rooms and science labs, the polished concrete slab is left exposed.

Circulation areas at the classrooms are exposed polished and stained concrete.

Administration and library spaces are carpeted with special flooring such as area rugs and hardwood floors used to distinguish special reading rooms and conference rooms.

Auditorium lobby floors are finished with a variously colored 12" x 12" polished marble tiles set in rectangular patterns.

Auditorium flooring is left as exposed concrete with blue-grey broadloom carpet at circulation areas.

Restroom floors are typically 2" x 2" ceramic tiles in various colors. Auditorium restroom floors are marble.

Gym:

Classroom space floors are typically finished with broadloom carpet in grey tones with matching carpet base. In classrooms that see heavy use, such as art rooms and science labs, the polished concrete slab is left exposed.

Circulation areas at the classrooms are grey broadloom carpet.

Lobby floors are stained and polished concrete.

The basketball court is provided with wood plank flooring, as is the dance studio.

Restrooms and locker room floors are 2" x 2" ceramic tiles in white, green and beige.

E.02 WALL FINISHES & DOORS

The physical condition of wall finishes and doors appeared "Good."

Main Bldg:

Classroom walls are white painted gypsum board, with much of the wall space dedicated to bulletin and dry erase boards.

Circulation areas are painted gypsum board in a variety of colors.

Administration offices and the library are painted gypsum board typically in white.

Auditorium lobby walls are painted gypsum board in pale yellows and earth tones.

Auditorium walls are white painted gypsum board.

Restroom walls are white painted gypsum board with a 4" x 4" tan ceramic wall tile wainscot. Auditorium restrooms have patterned vinyl wallpaper above the wainscot.

Gym:

Classroom walls are white painted gypsum board, with much of the wall space dedicated to bulletin and dry erase boards.

Circulation areas are white painted gypsum board.

Lobby walls are painted gypsum board in off-white.

The basketball court is finished with 5/8" fiber reinforced gypsum board and finished with hanging mats, rock climbing walls and translucent fiberglass *Kalwall* window walls.

E.03 CEILING FINISHES

The physical condition of ceiling finishes appeared "Good."

Main Bldg:

Classroom spaces typically have vaulted white painted gypsum board ceilings. Some spaces contain white acoustical tiles in suspended ceiling grids.

Circulation areas at the classrooms are white painted gypsum board.

Administration and library main spaces have stained, wood-clad ceilings with exposed stained wood trusses. Reading and conference rooms have painted gypsum board ceilings with stained wood beams or coffers.

The auditorium lobby has a double-height, coffered gypsum board ceiling.

The auditorium ceiling is gypsum board with sound absorbing white panels.

Restroom ceilings are white painted gypsum board.

Gym:

Classroom ceilings are white acoustical panels in suspended ceiling grids.

Circulation area ceilings consist of white painted gypsum board.

The lobby ceiling consists of painted gypsum board with stepped soffits, expressing the circular exterior form of the lobby.

The basketball court area ceiling is exposed corrugated metal, painted beige. The dance studio is finished with a white suspended acoustical tile ceiling system.

Restroom and locker room ceilings are painted gypsum board in off-white.

E.04 INTERIOR STAIRS

The physical condition of stairways appeared "Good."

The Main Bldg has a pair of wood-framed interior stairs that serve the auditorium balcony. The lower section of the stairs is enclosed and finished with linoleum treads and risers, along with steel tube railings. From the upper level lobby, short flights of stairs provide access to the balcony seating; these are carpeted and furnished with wrought iron handrails. Two steel-framed spiral stairs serve the backstage area of the auditorium and provide access to catwalks and storage areas.

The Gym has three sets of interior stairs; these are of steel pan construction with concrete filled treads, and are furnished with painted steel tube handrails. An unenclosed stair at the lobby connects the first floor to the second floor; a painted steel tube guardrail is provided along the open side of the stair and continues across the second floor balcony which overlooks the double-height volume entrance lobby. The remaining two enclosed stairs provide exiting at the southeast and northwest corners of the building in enclosed stairwells.

F. EQUIPMENT & SYSTEMS

The mechanical, electrical, plumbing, fire/life-safety, and vertical transportation equipment and systems appeared in generally "Good" condition. Most equipment will have serviceable lives beyond the 10-year evaluation period.

Heating and cooling are provided by a variety of roof- and pad-mounted equipment, most of which was replaced in 2021 and 2022.

Main electrical power is provided by Sonoma Clean Power/PG&E through pad-mounted transformers adjacent to the Main Bldg and near the main electrical room.

The Town of Windsor provides domestic and irrigation water to the property through backflow prevention devices located along Day School Place. Two 2" backflow prevention devices—one for domestic water and one for irrigation water—have freeze protection covers and feed their respective distribution systems. Water meters are located upstream of the backflow devices in grade level, precast concrete vaults located within surrounding landscaping.

Fire sprinkler systems provide fire suppression. Each building appears to be fully fire sprinklered. Main fire alarm panels monitor manual pull stations, smoke detectors, and flow and tamper switches. Portable fire extinguishers are provided throughout each building. Illuminated exit signs and emergency lighting with battery back-up are installed.

F.01 METERS

The physical condition of the utility meters appeared "Good".

The property has an electric meter located in the main electrical switchgear within the Main Building.

PG&E provides natural gas to the property through a 1-1/4" high-pressure gas main located outside the Main Bldg near the kitchen.

The Town of Windsor provides a 2" domestic and 1" irrigation water service along Aviation Blvd and a 4" domestic service along Day School Place. Each service has an underground meter vault and is protected by a backflow preventer.

F.02 MECHANICAL – HVAC

The physical condition of the HVAC systems appeared "Good," with deficiencies noted.

Heating and cooling for the Main Bldg is provided by roof-mounted packaged air conditioners with integral natural gas-fired furnaces. There are also split system air conditioners, tied to indoor FCUs, which are equipped with integral high-efficiency natural gas-fired furnaces. There is a roof-mounted gas-fired make-up air unit for kitchen supply air. Roof-mounted exhaust fans serve the restrooms and kitchen.

Heating and cooling for the Gym is provided by a four-pipe distribution system feeding hot and chilled water to indoor four-pipe FCUs. Primary cooling is provided by an air-cooled chiller and primary heating is provided by a natural gas-fired boiler. Chiller and boiler are located on an outdoor equipment pad near the northeast corner of the building.

Space Cooling and Heating

The Main Bldg has a total of 32 *Carrier* roof-mounted packaged air conditioners, ranging in size between 3 and 12 tons. Heating input capacities range between 60,000 and 224,000 BTUs per hour. The four *Carrier* split system air conditioners range in size between 4 and 7 tons. Kitchen relief air is provided by a *Reznor* roof-mounted natural gas-fired makeup air unit, with an input capacity of 150,000 BTUs per hour.

The Gym Bldg has 12 indoor four-pipe FCUs. There is a circulating chilled water system with a *Bell & Gossett* 250 gallon per minute circulating pump. Primary chilled water is provided by a *Carrier* air-cooled chiller with a capacity of 125 tons. Hot water circulation is provided by a *Bell & Gossett* 65 gallon per minute circulating pump. Primary hot water is provided by a *Laars* natural gas-fired boiler with an input capacity of 1,200,000 BTUs per hour.

The overall Main Bldg and Gym Bldg cooling capacities are about 286 and 104 square feet per ton. Overall heating capacities for the two buildings are 51 and 76 BTUs per square foot. Both heating and cooling capacities are more than adequate for buildings with similar occupancies in this geographic location.

All packaged and split system cooling units use R-410a refrigerant. The air-cooled chiller uses R-134a refrigerant which is a haloalkane refrigerant with thermodynamic properties similar to R-12 refrigerant but is considered far more environmentally friendly than R-12 as it has insignificant ozone depletion potential. Although efforts are underway to phase out R-134a and replace it with a refrigerant that has less global warming potential, it is expected to be readily available throughout the serviceable life of the chiller. No refrigerant related issues are anticipated during the evaluation period.

Control System

Packaged and split system cooling and heating units for the Main Bldg are controlled individually by *Pelican* digital programmable thermostats mounted in the space they are serving. An electronic *Intermatic* time clock controls the operation times

and durations of all units. In the Gym Bldg, individual FCUs use *Pelican* digital programmable thermostats.

Ventilation

The rooftop packaged cooling and heating units on the Main Bldg use outside air dampers to provide ventilation air, with many units capable of economizer operation. Gym FCUs draw in outside air through roof-mounted and side-wall intake louvers.

Rooftop vertical and horizontal exhaust fans serve exhaust requirements for restrooms, classrooms, the kitchen and utility areas in both buildings. The exhaust fans appear to be in “Good” condition and are running without excessive noise or vibration. Nonetheless, AllWest recommends that exhaust fans be refurbished during the reserve term, owing to their age.

Equipment

The attached mechanical equipment list provides a brief description of the primary HVAC equipment by building and indicates the age and the estimated remaining useful life expectancy. The overwhelming majority of the HVAC equipment was replaced in 2021 and 2022. It was reported that Gym Bldg boiler was retrofitted with new burners and refractory in 2020.

HVAC maintenance is typically provided by an in-house staff, with outside contractors called in as needed. Chiller maintenance is provided by American Chiller Systems. The kitchen exhaust hood is pressure washed every 6 months by Sun Air.

Cost estimates for various HVAC component replacement and refurbishing are included in the Immediate Needs & Replacement Reserves Analysis.

F.03 ELECTRICAL

The physical condition of the electrical systems appeared “Good,” with deficiencies noted.

The electrical system for the property includes a pad mounted transformer, main switchgear, step-down transformers, sub panels and a wire-in-conduit distribution system. A large-scale solar photovoltaic system supplements building power needs.

Power Supply

A PG&E/Sonoma Clean Power owned pad-mounted transformer provides 480/277 volt, 3-phase, 4-wire service to the main electrical room in

the Main Bldg. The room houses *Cutler-Hammer* switchgear rated at 1,600 amps, two large step-down transformers and 208/120 volt electrical panels. Supplemental power is provided by a large array of solar photovoltaic panels. The *Tesla* panels provide up to 300 amps of 480 volt power to offset utility purchases. The overall electrical capacity for both the Main and Gym buildings is about 16 watts per square foot which is within industry standards for this type of occupancy.

Main distribution panels use wire-in-conduit runs to feed electrical closets distributed throughout both buildings. Electrical closets house 480/277 and 208/120 volt electrical distribution panels for lighting and power loads. Ground fault current interrupter (GFCI) receptacles are provided within six feet of water sources. There are four EV charging stations along Day School Place.

Infrared scanning of the electrical system has not been performed. AllWest recommends the electrical systems be scanned for hot spots and loose connections that develop over time; scanning is recommended on a triennial basis.

It was observed that ground fault testing of the main breakers has not been performed. The National Electric Code recommends that periodic ground fault performance testing of breakers with ratings of 1,000 amps and higher be done on a periodic basis. AllWest recommends ground fault testing of these breakers be performed on a triennial basis.

Cost estimates to perform infrared scanning of the electrical systems and ground fault testing of high amperage breakers is included in the Immediate Needs and Replacement Reserves Analysis.

Lighting

Interior lighting in all buildings typically consists of:

- 1' x 4' and 2' x 4' recessed fluorescent fixtures with T8 lamps;
- Recessed can lighting fixtures with compact fluorescent lamps;
- Ceiling hung chandeliers with compact fluorescent lamps;
- Surface mounted 2-lamp fluorescent lamps with T-8 lamps;
- 2-lamp ceiling hung strip lighting placed end to end with T-8 lamps;
- An assortment of theatrical lighting;

- Ceiling hung fluorescent fixtures in the Gym.

Lighting in both buildings typically operates on 277-volt power. Lighting control in the Main Bldg is provided by a *GE* Lighting Controls panel. The Gym Bldg uses a *PCI* Lighting Control panel. There is an *Electronics Diversified* MX-3000 lighting dimmer and control panel for the theater.

Cost estimates to replace fluorescent lamps with LED lamps in 2' x 4', 2' x 2', and canned fixtures are included in the Immediate Needs and Replacement Reserves Analysis.

Exterior Lighting

Exterior lighting includes pole mounted single headed fixtures with high intensity diode (HID) high pressure sodium vapor lamps, decorative lamp post style fixtures with compact fluorescent lamps, and bollard style fixtures with compact fluorescent lamps along entrance walkways. Some entrance soffits have recessed can fixtures that use compact fluorescent lamps. Exterior lighting is controlled by programmable electronic timers.

Although not observed after dark, exterior lighting appears to be adequate for the school's needs.

Energy Management System

Central plant equipment is controlled by time clocks. *Pelican* electronic thermostats provide scheduling and zone temperature control for Main Bldg packaged and split system air conditioners and for the Gym's FCUs.

Solar Panels

There is a large-scale array of solar photovoltaic power generation panels, mounted on structures in a field adjacent to the gravel-paved parking lot on the west side of the property. The *SolarCity* 480 volt auxiliary solar power supply is capable of displacing up to a maximum of 300 amps of power which would otherwise have to be purchased from Sonoma Clean Power/PG&E. Electrical enclosures house DC to AC power inverters and consolidate feeds. An underground wire-in-conduit run feeds solar-generated power to a system disconnect located within the main electrical room.

Emergency Power

No emergency power is provided, other than battery backup for fire alarm devices and emergency lighting.

F.04 GAS

The physical condition of the gas equipment and systems appeared "Good," with deficiencies noted.

PG&E provides natural gas to the property through a 1-1/4" high-pressure gas main located near the Main Bldg kitchen. The service is not protected with a seismic safety shutoff valve; valve installation is recommended.

High-pressure gas is distributed in galvanized steel pipe to loads throughout both buildings. There is a pressure regulator at each building to reduce system pressure for building loads. Gas loads for the Main Bldg include the 32 rooftop packaged unit air conditioners, four split-system fan coil units, kitchen cooking equipment and kitchen water heating. Gas loads for the Gym Bldg include the natural gas boiler and locker room water heater. All packaged air conditioners and water heaters are protected with flexible gas line connections. The gas-fired boiler is reported to have been fitted with a flexible connection since the issuance of our 2015 report.

A cost estimate to provide one automatic seismic shutoff valve on the main gas service is included in the Immediate Needs & Replacement Reserves Analysis.

F.05 PLUMBING

The physical condition of the plumbing appeared "Good," with deficiencies noted.

Supply Piping

The Town of Windsor provides domestic and irrigation water to the property through backflow prevention devices located along Day School Place. Each service has an underground meter pit. Supplemental irrigation water is provided by a 4" water well. It was reported that the irrigation well pump motor was replaced in 2021. A variable frequency drive was added to the pump motor in 2019.

All observed domestic water piping inside buildings is copper. Irrigation distribution piping is PVC.

Waste Piping

Observed waste water and sewage piping is no-hub cast iron. Adequate cleanouts were observed at both interior and exterior locations and no problems were observed or reported.

Main Bldg kitchen waste piping is protected by an exterior underground grease interceptor.

Fixtures

Toilets are typically *Kohler* floor-mounted 1.6 gallon per flush units with *Sloan* automatic flush valves. A small number of low-flush floor mounted tank-type toilets were also noted. All urinals are waterless models; several urinals are reported to have developed cracks; replacement is recommended. Sinks and lavatories are wall-mounted units with *Sloan* motion sensor faucet controls. Showers in the Gym change rooms have single lever faucet controls.

Service and classroom sinks are stainless steel counter-mounted units with either single or dual lever faucet controls.

Domestic Hot Water

Domestic water heaters in the Main Bldg consist of three 40 gallon 277 volt units, eight under-sink 6 gallon 120 volt units and a gas-fired 80 gallon unit in the kitchen. The Gym change rooms have three gas-fired tankless water heaters rated at 25,000 Btu/hour each.

Most water heaters are original to building construction and can be expected to reach the end of their EULs during the evaluation period. Several have been replaced over the last few years however some original units remain.

It was reported that there were two minor leaks in the cold water distribution piping. Repair included replacement of original copper pipe with PVC pipe.

It was reported that there have been continuous issues with lavatory faucet auto-flow valves. It was also reported that original urinals are cracking and showing signs of wear. Urinal and faucet replacement is recommended.

Proposed interior area capital improvements also include performing restroom reconfigurations to provide gender inclusive restrooms in the both buildings.

Cost estimates for replacement of the remaining original water heaters, 28 faucets, and 17 urinals and for new restroom configurations have been included in the Immediate Needs and Replacement Reserve Analysis.

F.06 FIRE PROTECTION

The physical condition of the fire protection system appeared "Good," with deficiencies noted.

Firewater Distribution and Suppression Devices

There is a site 6" fire sprinkler water service, with backflow preventer, along Aviation Blvd. A site fire water system serves risers for the Main Bldg and Gym and to three site fire hydrants. Both buildings are fully fire sprinkled, each with an automatic wet standpipe system. The Main Bldg has a fire sprinkler room that houses a 3" riser. System design calls for sprinkler coverage of 0.10 gallons per minute over the most remote 1,500 sq ft. Design pressure is 82.7 psi and the riser pressure is 90 psi. Riser tags show the most recent 5-year NFPA inspections were performed by Axcel Fire Systems in November 2017.

Sprinkler heads in the spare sprinkler head box in the Main Bldg were observed to be Central "G", "A" and "GB" type heads. The heads found in the Gym's sprinkler head spares box did not have a letter designation and did not appear to be recalled heads.

Five lb. ABC-type dry chemical fire extinguishers are located at regular intervals throughout each building. The extinguishers are typically stored in semi-recessed wall cabinets with glass door fronts in finished areas. In utility areas, the extinguishers are simply wall-mounted. Observed extinguisher inspection tags are current.

It was reported that the Ansul fire suppression system serving the kitchen grill in the Main Bldg was replaced as part of a recent kitchen upgrade.

Fire Alarm Systems

Both buildings are monitored by a central main fire alarm panel that is installed in the main electrical room within the Main Bldg. The main panel is a *Notifier* AFP-400 addressable fire alarm system. There is also a *Fire Lite* MS-5UD conventional panel. Panels monitor initiation devices such as smoke detectors, pull stations, heat sensors, and flow and tamper switches. If activated, panels signal notification devices such as horns, strobes and the building fire bell. The ample placement of strobes in each building appears to indicate that current Accessibility placement requirements are satisfied.

The fire alarm panels are monitored by Major Alarm monitoring service.

Smoke Detectors

Smoke detectors are located on HVAC ductwork, along egress routes and in other areas. They are all

hard-wired with battery back-up and report to the central fire alarm monitoring panel.

F.07 OTHER SYSTEMS

Other systems were not observed.

Proposed SCDS capital improvements also include the installation of new audio/video equipment for outdoor events.

A cost estimate for this new equipment is included in the Immediate Needs and Replacement Reserve Analysis.

F.08 SECURITY SYSTEM

The physical condition of the security systems appeared "Good," with deficiencies noted.

Buildings remain open during and after normal school hours from 7am to 9pm, Monday through Friday. After-hours access is provided by key pad door readers. The site security gate guard house is manned Monday through Friday from 7am to 5:50pm. After-hours access is provided by a key pad entry system. A security system for building lockdown has been installed. There are also 24 closed circuit TV cameras around the property to monitor strategic locations inside and outside the buildings. A DVR with 2-weeks of recording capacity is used for video storage.

Security systems have an EUL of 15 years and issues with the existing system were reported. The existing system appears beyond its EUL and replacement should be anticipated early in the term.

Planned capital improvements for security systems follow:

- Replace security panel and keypads in main building;
- Add cameras to interior areas to cover inside doorways/hallways;
- Add cameras to blind spots east of garden/knoll;
- Add addressable duress alarms to each classroom space/front desk/guard shack;
- Add lockdown speaker to guard shack.

A cost estimate for the proposed security system upgrades is included in the Immediate Needs & Replacement Reserves Analysis.

F.09 VERTICAL TRANSPORTATION AND CONVEYING SYSTEMS

The physical condition of the vertical transportation and conveying systems appeared "Good."

The Main Bldg auditorium balcony is not served by an elevator. The Main Bldg theater stage is provided with a wheelchair lift, manufactured by *Porch-Lift*, with a capacity of 750 pounds and dating to original construction.

The Gym is equipped with a two-stop hydraulic passenger elevator, manufactured by *Otis*, also dating to original construction. Cab interiors include stainless steel doors and closures, laminated wall panels, egg crate ceiling and carpet floor. Cab capacity is 2,000 pounds. The elevator is protected by an *REM 2000* Seismic Safety module and a battery emergency recall system. Wait times and car travel appeared normal for a hydroelectric elevator. Motion, starting, and stopping appeared normal during the inspection.

The annual inspection permit on display in the cab is not current. It was reported that State of California has been notified and that inspection is pending. The certificate for the wheelchair lift is current. A cost estimate for elevator inspection is not included in the spreadsheet.

Hydraulic passenger elevators have and EUL of 25 years. The Gym elevator will reach its EUL during the term and an elevator modernization should be anticipated. Modernization includes new control panels and upgrades to the hydraulic pump system. It is also recommended to perform cab upgrades as part of the modernization.

The cost for elevator modernization is included in the Immediate Needs & Replacement Reserve Analysis.

G. ACCESSIBILITY COMPLIANCE

The Accessibility Standards of the California Building Code, as adopted by the Sonoma County Building Department, establish guidelines to afford access and mobility to a site or building to persons with disabilities. The standards are modeled on the Americans with Disabilities Act (ADA) which prohibits discrimination to access and use of areas of public accommodation and commercial facilities on the basis of disability. In California, Accessibility Standards extend to include quasi-public and portions of multi-residential occupancies.

Public-accessible facilities completed and occupied after January 26, 1992 are required to comply fully with the Americans with Disabilities Act Guidelines (ADAAG). In California, all new construction, as well as substantial renovations and upgrades to existing facilities, are required to meet the current Accessibility requirements of the CBC for public, quasi-public, and multi-residential environments.

Where CBC or local Accessibility requirements differ from those found in the ADA and are equal to or more stringent than those found in the ADA, the CBC or local requirements shall govern.

Older facilities are often held to a lesser standard of compliance to the extent allowed by structural feasibility, design logistics, historical status, or economics. Yet, regardless of age, areas accessible by the public must be maintained and operated to comply with the federal mandates of the ADA.

During the Property Condition Survey, a limited visual observation for Accessibility compliance was conducted. The visual observation scope was limited to areas of common use, such as the exterior site, entry areas, restrooms, doors and hardware directly related to common areas. Off-site areas are typically not evaluated. The limited observation described herein is not a full Accessibility Compliance Survey.

Due to the variable nature of Accessibility compliance required of existing buildings and the variable nature of enforcement and interpretation of Accessibility requirements from community to community, analysis of what may be required in any future building permit application is outside the scope of this report, as is an analysis of the possible ramifications of legal and financial liability for any deficiencies in site and building Accessibility which are not remedied. It also bears mentioning that a set of plans that have been approved for a building permit by the Sonoma County Building Department will not necessarily meet the requirements of the ADA.

G.01 PARKING

The condition of parking for Accessibility appeared “Good,” with deficiencies noted.

Fifty-five parking spaces are provided in striped stalls on the main parcel; four are marked as Accessible, one of which is Van Accessible. The CBC requires three Accessible parking stalls, one of which shall be Van Accessible. The provided Accessible parking meets the requirements for the quantity required.

Accessible parking is located near the front entrance and west elevation of the Main Bldg. The signage at all Accessible stalls lacks the required fine amount sign. Additionally, the parking stall Accessibility signs, as well as the sign at the parking lot entrance, have a generally run-down appearance; replacement of all Accessibility signage is recommended.

An estimate for new Accessible parking signs is included in the Immediate Needs & Replacement Reserves Analysis.

G.02 PATH OF TRAVEL

The condition of the path of travel for Accessibility appeared “Good,” with deficiencies noted.

No sidewalk is provided along Aviation Boulevard, except for a very short length at the curb ramp on the east side of Day School Place. A sidewalk is installed along the west side of Day School Place.

An Accessible path of travel is generally provided throughout the campus. In building interior locations, required widths and clear floor areas are provided, as is Accessible door hardware.

Although the Main Bldg auditorium balcony is not Accessible, an equivalent seating option is provided at the main level. This mitigates the need to make the balcony Accessible. An Accessible wheelchair lift provides access to the auditorium stage level.

The path of travel does not meet Accessibility requirements as follows:

- Truncated domes are not provided in any required location;
- A concrete curb ramp is provided on the east side of Day School Place at Aviation Boulevard; a curb ramp is not provided on the west side where a short length of sidewalk is installed;
- No provision for Accessible loading areas are provided at the front and rear loading areas at the Main Bldg;
- In the auditorium, insufficient provision is made for wheelchair spaces; for an assembly area of 700 seats, 8 spaces are required, dispersed through the auditorium. It appeared a single wheelchair space is currently provided;
- Interior stairs are not consistently provided with contrasting striping on the top and bottom treads, as required by code;

- The grooved striping on the main entrance exterior stairs is no longer compliant with current CBC Accessibility requirements;
- The small concrete stairs near the southwest corner of the Main Bldg have a handrail on one side only and the visually contrasting stripes are in a degraded condition.

Sean McFarland informed us that an upgrade was performed to provide an Accessibility compliant playground since the issuance of our 2015 report.

AllWest recommends that remedial measures be taken to address the deficiencies for Accessibility in each of the bullet items listed above.

An estimate to address path of travel deficiencies is included in the Immediate Needs & Replacement Reserves Analysis.

G.03 TOILETS & PLUMBING FIXTURES

The condition of the toilets and plumbing fixtures for Accessibility appeared “Good,” with deficiencies noted.

Restroom facilities are generally Accessible throughout the campus. Drinking fountains provide high-low Accessibility.

Plumbing facilities do not meet Accessibility requirements as follows:

- Operation of the sanitary napkin dispenser installed in the adult restroom at the Main Bldg auditorium requires a twisting motion, which is not allowed per code;
- Sinks in the administration area, as well as several others, are not designed for wheelchair access;
- Showers are provided in the Gym though they are not Accessibility compliant;
- Drainpipe insulation is not installed at a large number of restroom sinks.

AllWest recommends that remedial measures be taken to address the deficiencies for Accessibility in each of the bullet items listed above.

An estimate to address plumbing deficiencies is included in the Immediate Needs & Replacement Reserves Analysis.

G.04 ELEVATORS

The condition of the elevators for Accessibility appeared “Good.”

The passenger elevator provided in the Gym generally conforms to Accessibility codes, including the presence of audible floor and direction indicators, jamb signs, braille signage, support rails and hands-free emergency phone.

A stage lift provides Access to the Main Bldg stage area, as required by code.

IV. CONSULTANT'S QUALIFIERS

A. SCOPE OF WORK

AllWest was retained to assess the existing site physical condition, improvements and buildings at the subject property, and to research available records and interview individuals familiar with the facility operations. AllWest was tasked to identify construction and/or code deficiencies and prepare a ten-year spreadsheet for immediate and replacement reserve expenditures, and also including planned capital expenses envisioned by the school.

B. METHODOLOGY

AllWest used industry standard cost estimating guides such as R. S. Means and Current Costs by Saylor Publications as well as our experience and judgment. AllWest conducts spot-check pricing and uses prices provided by local general contractors.

In preparing the report, AllWest utilized industry standard guidelines as a basis for our inquiry including the “Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process,” outlined in ASTM E2018-15.

C. ASSESSMENT CRITERIA

In evaluating the property, “Excellent” is the best maintained property condition or new construction, with all the building equipment operational and no repairs necessary. A “Good” rating is for a condition that demonstrates consistent building maintenance and grounds, and all the building equipment in sound operating condition, with only a few minor repairs needed. A “Fair” rating is for a condition that demonstrates some wear or damage present in the

building and/or grounds elements, requiring repair or replacement work. A “Poor” rating is for a condition that is clearly the worst, with a uniform run-down appearance, damaged building elements or inoperable building systems present.

D. LIMITING CONDITIONS

AllWest accessed the roofs of both buildings; we did not access the roof of the covered walkway. We entered and observed both levels in each building, though we did not enter every room. We observed administration office areas. We observed classrooms, the auditorium, backstage areas, the library, the gym, storage rooms, and utility and server rooms. We entered a sampling of restrooms including the men’s and women’s adult restrooms in the Main Bldg.

During the preparation of this report:

- Original architectural and structural construction drawings were provided;
- Original MEP construction drawings were provided;
- An ALTA survey was not provided;
- An ADA survey was not provided;
- A current rent roll was not provided; the building is owner-occupied as a single tenant educational facility;
- Some maintenance/repair information for the HVAC systems was provided;
- Some information concerning testing and inspections of the fire and life safety systems was observed during our site visit;
- Some information concerning inspections and repairs of the elevators was provided;
- Some roof maintenance/repair documents were provided and roof replacement history was related in conversations during our site visit and in email correspondence;
- Vendor service agreements were not provided;
- Some historical repair or improvement information was provided;
- Proposals for planned improvements were provided;

- Certificates of Occupancy were not reviewed;
- The AllWest PCA client questionnaire was not returned. Several questions submitted to Sean McFarland via e-mail were answered in written form.

An appraisal was not made available for the subject property. Quantities were arrived at with input from the property management company, construction documents, and by our own count. AllWest relied upon field observations and measurements. AllWest recommends that, if feasible and permissible, all building materials or finishes be replaced in kind. AllWest did not operate any building systems or equipment and did not perform any tests. This report does not confirm the presence or absence of hazardous materials.

This evaluation represents AllWest's opinion based on our site observations. It should be recognized that items, other than those specifically identified in this report, might require repair or replacement. Furthermore, this review is not intended to preempt in any way the technical or professional responsibility of the original design consultants.

The inspection procedures do not address termite or environmental inspection. The investigation scope was limited to accessible building areas, structure, and its components. Physical removal of wall panels or similar items was not performed to determine structural soundness or equipment reliability.

AllWest has visually assessed the subject property, both the land and the improvements thereon, where applicable. It is impossible to personally observe conditions that may exist below the surface of that may be hidden within the structure of the improvements. Therefore, it cannot be guaranteed that hidden or unexpected problems with the facility structural integrity or soil conditions do not exist.

The inspection findings contained in this report are based upon quantitative and qualitative factors that exist on the inspection date. There can be no assurance that intervening factors will not affect the report's conclusions.

Sketches, floor plans, and maps used in this report are included to aid the reader's visual understanding and should not be considered surveys or engineering studies. All dimensions and estimates of building size, net or gross are approximations.

The report is intended only for the internal use of the addressee or their authorized representative and possession does not imply the right of publication or

the use for any other purpose without the written consent of AllWest Environmental, Incorporated.

Neither all nor part of this report shall be conveyed to the public through advertising, public relations, news, sales, or other media without the prior written consent of AllWest Environmental, Incorporated.

This report is not intended, in any manner, to include any critique or evaluation of the design concept, or the structural, mechanical, or electrical systems, which may be incorporated into the subject property. It is not intended as an opinion with respect to any legal relationship or responsibilities between the architect, the engineers, the contractor, or the subject property owner. While AllWest Environmental, Inc. has reviewed some documents, our statements are not intentional legal opinions. In making this review and subsequent on-site inspection, AllWest Environmental, Inc. does not assume any legal responsibilities for the design architects or engineers, or contractors for the subject property, nor is any other warranty or representation expressed or implied, included or intended.

E. PREVIOUS REPORTS

This report updates a previous Property Condition Assessment by AllWest, dated April 27, 2015.

F. CONSULTANT QUALIFICATION

Ryan Miller is a California Licensed Architect with more than 35 years of related experience.

Ronald Brown is a licensed Mechanical Engineer with more than 8 years of related experience.

Charles Bucher is a California Licensed Architect with more than 23 years of related experience.

G. RELIANCE LANGUAGE

This report was prepared for the sole and exclusive use of Sonoma Country Day School, the only intended beneficiary of this work. No excerpts may be taken as representative of the findings of this assessment. The scope of services performed in the

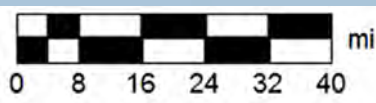
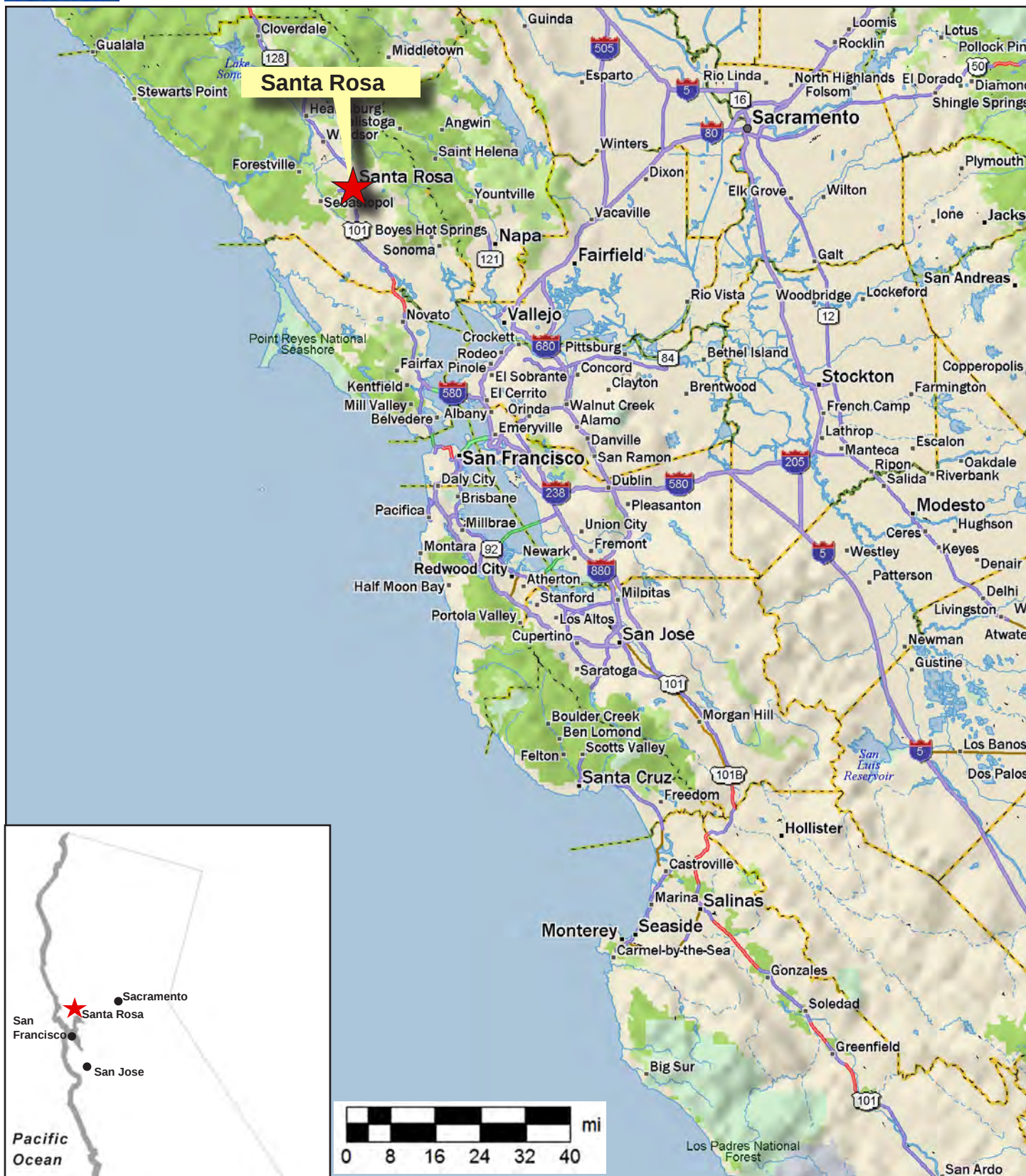
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The information contained in this report has received appropriate technical review and approval. The conclusions represent professional judgments and are founded upon the investigation findings identified in the report and the interpretation of such data based on our experience and expertise according to the existing standard of care. No other warranty or limitation exists, either expressed or implied.

AllWest's opinion of probable costs has been prepared solely as a general reference document for the use of client Sonoma Country Day School. Our estimates have not been prepared by a cost estimator or contractor and as such should not be considered a guaranteed maximum of costs. AllWest estimates are based on presumed or calculated quantities and unit costs based on AllWest's research or previously documented amounts. AllWest's allowances are an amount established to cover the cost of a recommended remedial measure, the parameters of which are not specified in detail. Our estimate has been prepared to meet the unique needs of client Sonoma Country Day School. No other parties may rely on the estimate without AllWest's consent. This report is not a specification for further work, and is not intended as a construction budget nor should be used to gain construction financing. All area, unit costs, and line-item estimates are order-of-magnitude only.

Neither AllWest, nor any staff member assigned to this investigation has any interest or contemplated interest, financial or otherwise, in the subject or surrounding properties, or in any entity which owns, leases, or occupies the subject or surrounding properties, or which may be responsible for issues identified during the course of this investigation, and has no personal bias with respect to the parties involved.

FIGURES



AllWest

PROJECT NO.
22088.60

REGIONAL MAP

FIGURE 1

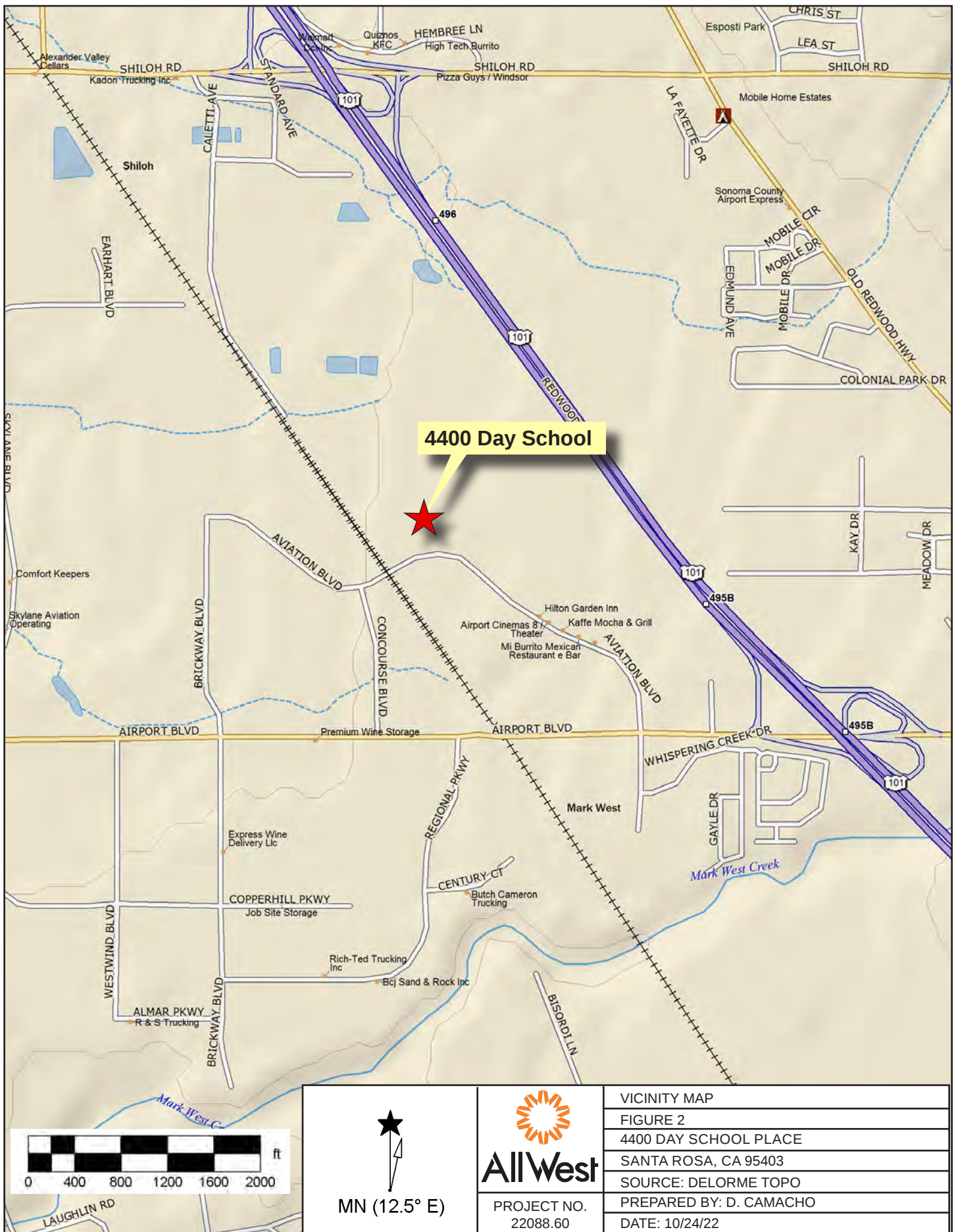
4400 DAY SCHOOL PLACE

SANTA ROSA, CA 95403

SOURCE: DELORME TOPO

PREPARED BY: D. CAMACHO

DATE: 10/24/22



AllWest

PROJECT NO.
22088.60

VICINITY MAP

FIGURE 2

4400 DAY SCHOOL PLACE

SANTA ROSA, CA 95403

SOURCE: DELOME TOPO

PREPARED BY: D. CAMACHO

DATE: 10/24/22



NOT TO SCALE



AllWest

PROJECT NO.
22088.60

AERIAL PHOTO

FIGURE 3

4400 DAY SCHOOL PLACE

SANTA ROSA, CA 95403

SOURCE: GOOGLE

PREPARED BY: D. CAMACHO

DATE: 10/24/22

PHOTOGRAPHS



1. Main Bldg: Main entrance, terraces and stairs along south elevation.



2. Main Bldg: Library wing at southeast corner of building.



3. Main Bldg: East elevation.



4. Main Bldg: Along north elevation. Signage for Lasseter Center for the Arts and temporary events tent shown.



5. Main Bldg: Portion of north elevation at northeast corner of building.



6. Main Bldg: Portion of north elevation at northwest corner of building.



7. Main Bldg: Portion of west elevation and playground near lower classroom wing at northwest corner of building.



8. Main Bldg: West elevation entrance. Lower classroom wing is to the left; administration wing is to the right.



9. Main Bldg: Portion of south elevation at southwest corner of building. Landscaping at the property is attractive and well maintained.



10. Main Bldg: Afternoon student pick-up shade shelter and drive aisle. Accessible pick-up areas are not provided at either the north (shown) or south student drop-off areas.



11. Covered walk connecting Main Bldg to the Gym, in background.



12. Gym: West elevation.



13. Gym: South elevation.



14. Gym: East elevation, with asphalt-paved play area in foreground.



15. Gym: North elevation with storage and refuse enclosures shown.



16. Guard building along entrance drive.



17. Property entrance off Aviation Boulevard, looking west.



18. School monument sign and painted art sign at property entrance.



19. Afternoon student pick-up shelter at lower right, with Main Bldg in background.



20. Asphalt-paved play area to east of Gym.



21. Sports field to south of Gym.



22. Main Bldg: Northwest wing (lower school) courtyard.



23. Degraded plastic control joint caps are recommended for replacement.



24. Asphalt pedestrian path along entrance drive, looking south.



25. Dumpster enclosure at rear of Gym.



26. Main Bldg: Landscaped area near front entrance. Degraded wood chips should be replenished.



27. "Friendship Garden" between Main Bldg and Gym at right.



28. Play equipment at lower class playground near northwest corner of Main Bldg.



29. Accessible parking stalls near front of Main Bldg.



30. Parking along west edge of Main Bldg, looking south.



31. Gravel-paved overflow parking on west parcels, looking north.



32. Solar array at west edge of property, looking north.



33. Main Bldg: Northwest wing TPO roof, looking northwest.



34. Main Bldg: Northwest wing TPO roof looking east-southeast.



35. Main Bldg: Northeast wing TPO roof looking northeast.



36. Main Bldg: Southeast TPO roof looking northeast.



37. Main Bldg: Southeast wing BUR roof. This is the only BUR roofing system remaining on Main Bldg. Concrete barrel tiles shown on adjacent pitched roof areas.



38. Main Bldg: Clerestory wood trim throughout is in a degraded condition.



39. Gym: Standing seam metal roof with raised basketball court roof to left, looking south. Clerestory windows with translucent fiberglass panels shown.



40. Gym skylights with deteriorating fiberglass panels.



41. Gym standing seam metal roof showing TPO lined interior gutter, at left.



42. Gym: Concrete barrel tile roofing systems.



43. Main Bldg: Entrance lobby (center gallery in foreground).



44. Main Bldg: Auditorium looking toward stage.



45. Main Bldg: Auditorium balcony.



46. Main Bldg: Auditorium backstage area.



47. Main Bldg: Library.



48. Main Bldg: Library reading room in background.



49. Main Bldg: Administration reception area in southwest wing.



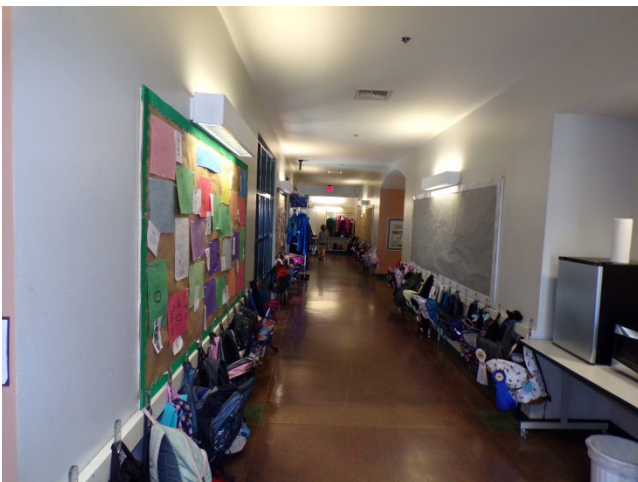
50. Main Bldg: Open office in administration area.



51. Main Bldg: Typical classroom.



52. Main Bldg: Music classroom with exposed wood truss roof structure.



53. Main Bldg: Circulation area.



54. Main Bldg: Auditorium restroom for adult use only.



55. Main Bldg: Stairs to auditorium balcony.



56. Main Bldg: Kitchen.



57. Gym: Double-volume height entrance lobby.



58. Gym: Entrance lobby unenclosed staircase. Minor damage to some paint finishes shown.



59. Gym: Basketball court.



60. Gym: Intermittent leaks adjacent to middle skylight and clerestory window (above the word "Comets") were reported.



61. Gym: Typical classroom.



62. Gym: Stairs lack compliant visually contrasting striping at top and bottom treads.



63. Gym: Typical restroom finishes.



64. Gym: Typical restroom finishes.



65. Gym: Maintenance shop.



66. Gym: Locker room showers do not meet Accessibility requirements.



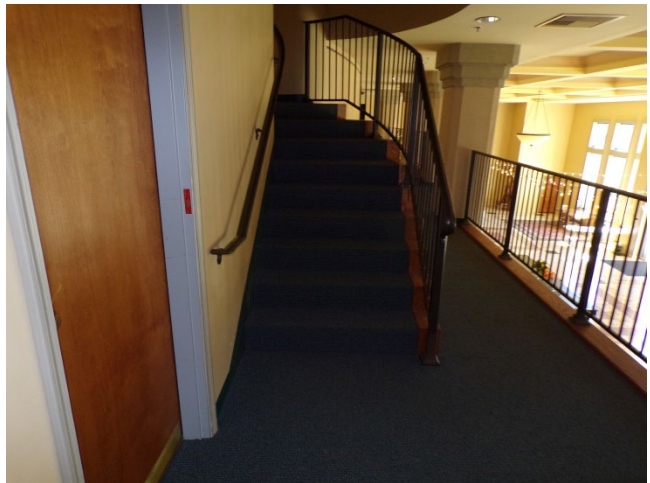
67. Accessible parking lacking correct signage; the fine amount sign is absent. Signage is typically in a degraded condition.



68. Main Bldg: Stage lift at auditorium provides access from seating area level to stage level.



69. Gym: The elevator generally appears to meet Accessibility requirements.



70. Typical interior stairs lack compliant contrasting striping on top and bottom treads. Main Bldg balcony stairs shown.



71. Accessible toilet stalls generally meets code requirements; Main Bldg restroom shown.



72. Typical sink and accessories generally meet Accessibility requirements, though many sinks lack drain pipe insulation; Main Bldg restroom shown.



73. Main Bldg. The sanitary napkin dispenser in the adult women's restroom is not Accessibility compliant.



74. Main Bldg: Service sinks at several locations are inaccessible to a wheelchair occupant. Administarion area break room shown.



75. Gym showers do not meet Accessibility requirements.



76. Main Bldg: Playground near lower classroom wing at northwest corner of building.



77. The short drive near the southeast corner of he Main Bldg requires gravel replenishment.



78. Main Bldg: The stairs near the southwest corner of the building have a handrail on one side only. Tread striping should be renewed.



79. Four EV charging stalls are provided on the west side of the Main Bldg.



80. Minor repairs to asphalt paving can be anticipated during the reserve term.



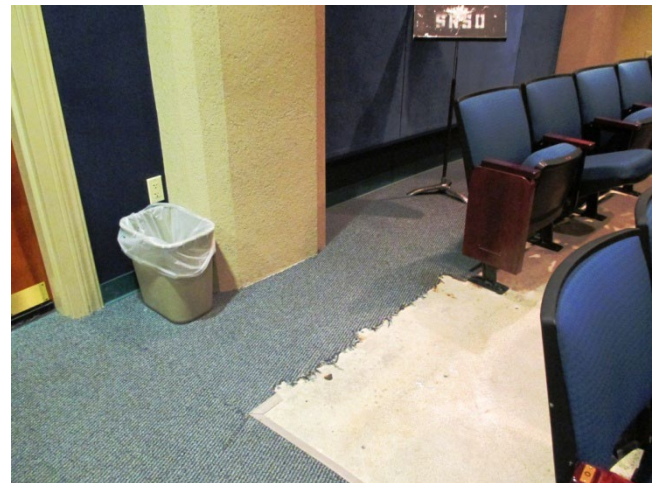
81. Gym: Two small areas of BUR are recommended for replacement.



82. Accessible parking signage is typically in a degraded condition.



83. Truncated domes are not installed in any required location at the school.



84. Main Bldg: AllWest recommends that seven additional wheelchair spaces be provided.



85. Main Bldg: Grooved stripes in stair treads are no longer compliant with current Accessibility codes.



86. All observed water fountains are high-low combinations.



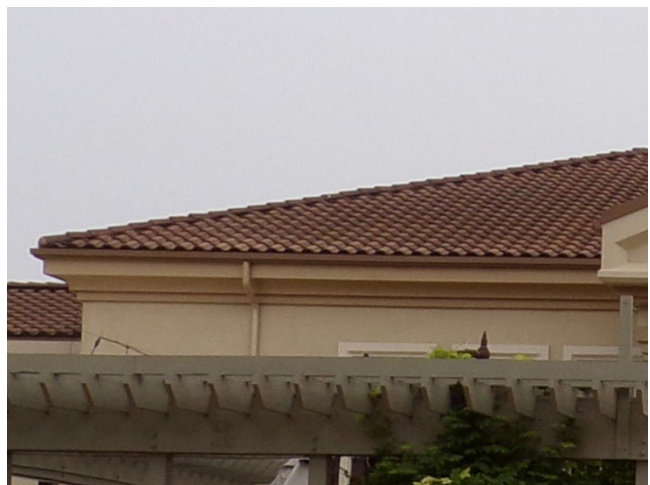
87. In some landscaped areas, the wood chips require renewal; this is a matter of routine maintenance.



88. Landscaping at the school is typically attractive and well maintained.



89. AllWest recommends that the BUR system on the covered walkway be replaced.



90. Main Bldg: Gutters on south elevation were reported to have leaks.



91. Main Bldg: A leak was reported near this scupper above the northwest wing.



92. The curb ramp (foreground) lacks truncated domes; the far corner lacks a curb ramp altogether.



93. Main Bldg: West gallery of main entrance area.



94. Main Bldg: East gallery of main entrance area, in background.



M-1. Main Bldg: Split system fan coil unit.



M-2. Gym: Four-pipe fan coil unit.



M-3. Main Bldg: Packaged air conditioner.



M-4. Main Bldg: Air conditioner with flexible natural gas connection.



M-5. Main Bldg: Split system air conditioning condenser.



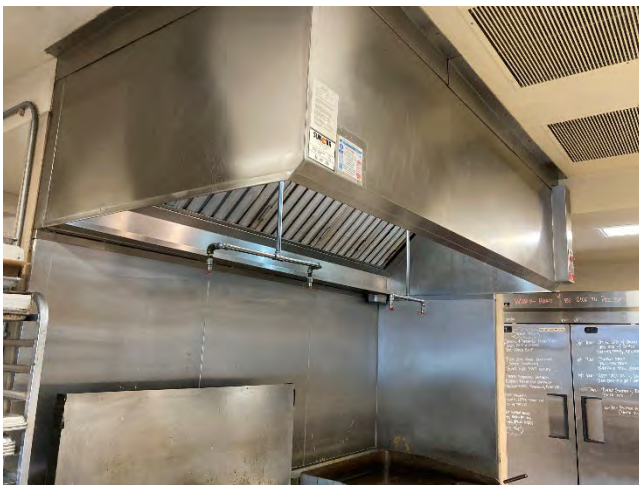
M-6. Gym: Air-cooled chiller.



M-7. Gym: Natural gas-fired boiler.



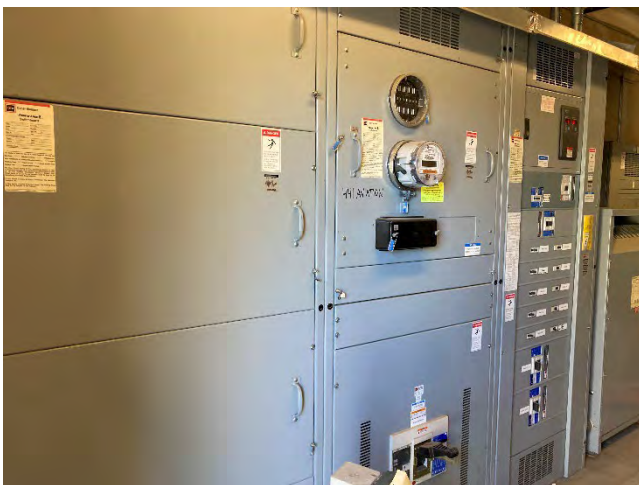
M-8. Main Bldg: Natural gas-fired kitchen make-up air unit.



M-9. Main Bldg: Kitchen exhaust hood



M-10. Main Bldg: Rooftop exhaust fans.



M-11. Main electrical switchgear.



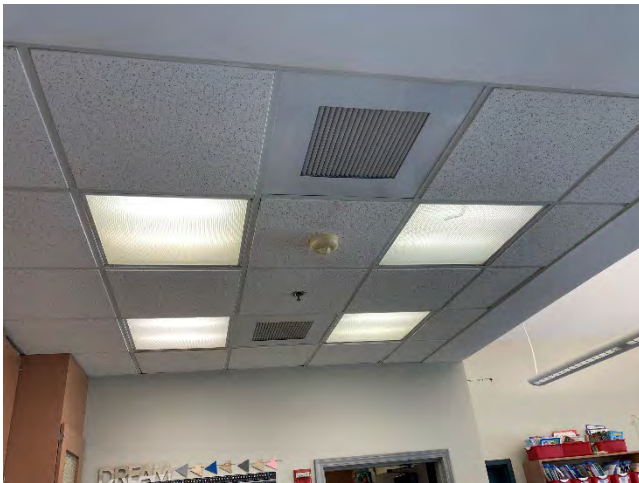
M-12. Solar photovoltaic power generation panel array.



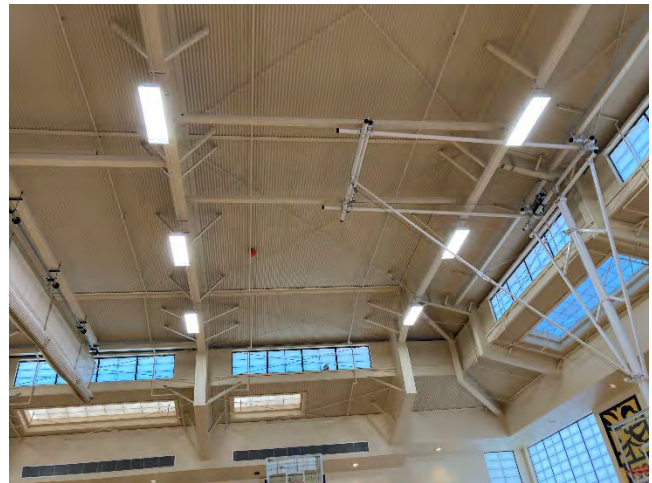
M-13. Electrical distribution panels.



M-14. Main Bldg: Classroom light fixtures.



M-15. Main Bldg: Classroom light fixtures.



M-16. Gym: Gymnasium light fixtures.



M-17. Main Bldg: Lighting control panel.



M-18. Electric vehicle charging station.



M-19. Natural gas service entrance.



M-20. Domestic water service entrance.



M-21. Main Bldg: Kitchen grease interceptor.



M-22. Lavatory automatic faucet.



M-23. New waterless restroom urinal.



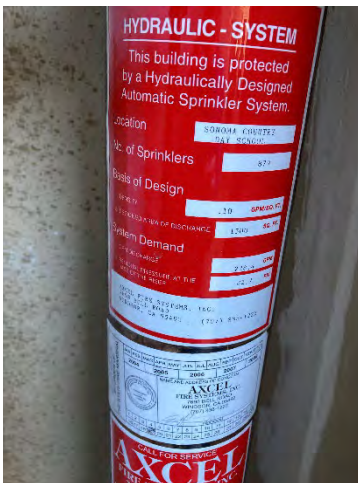
M-24. Electric domestic water heater.



M-25. Natural gas domestic water heater.



M-26. Fire sprinkler service entrance.



M-27. Main Bldg: Fire sprinkler riser.



M-28. Fire alarm panel.



M-29. Kitchen hood fire suppression tank.



M-30. Illuminated exit sign and horn/strobe.



M-31. Key pad security panel.



M-32. Gym: Hydraulic elevator drive machine and controller.



M-33. Elevator battery emergency recall panel.



M-34. Main Bldg: Theater wheelchair lift.

APPENDIX A



Parcels which comprise the subject property are indicated with their APNs.

National Flood Hazard Layer FIRMette



122°47'33"W 38°31'15"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **10/6/2022 at 7:53 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

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0 250 500 1,000 1,500 2,000 Feet 1:6,000

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

122°46'55"W 38°30'47"N

Date	Record Number	Record Type	Status	Description	Project Name
12/7/2021	BLD21-8934	BLDG Permit W/Plan Check	Void	40 HVAC Unit Change Out	
11/19/2021	BLD21-8581	BLDG Permit W/Plan Check	Issued	Commercial HVAC Unit change out on roof at Country Day School	Commercial HVAC Unit change outs (multiple) on roof
6/22/2016	BLD16-3186	BLDG Permit W/Plan Check	Finaled	REPLACE / IMPROVE PLAYGROUND EQUIPMENT FOR PRIVATE SCHOOL	REPLACE/IMPROVE PLAYGROUND EQUIPMENT FOR PRIVATE SCHOOL
9/29/2011	BLD11-4203	BLDG Permit W/Plan Check	Finaled	ELECTRICAL PERMIT TO TIE INTO GROUND MOUNT PV SYSTEM PERMITTED BY CITY OF WINDSOR TO SONOMA COUNTRY DAY SCHOOL	ELECTRICAL PERMIT TO TIE INTO GROUND MOUNT PV SYSTEM PERMITTED BY CITY OF WINDSOR TO SONOMA COUNTRY DAY SCHOOL
6/29/2007	BLD07-3221	BLDG Permit W/Plan Check	Finaled	INSTALL SECURITY BOOTH AT COUNTRY DAY SCHOOL - NO PLUMBING	INSTALL SECURITY BOOTH AT COUNTRY DAY SCHOOL - NO PLUMBING
6/18/2002	BLD02-2917	BLDG Permit W/Plan Check	Finaled	NEW COMMERCIAL FIRE ALARM	NEW COMMERCIAL FIRE ALARM
5/29/2002	BLD02-2522	BLDG Permit W/Plan Check	Finaled	INSTALL COMMERCIAL FIRE SPRINKLERS	INSTALL COMMERCIAL FIRE SPRINKLERS
11/16/2001	BLD01-5718	BLDG Permit W/Plan Check	Finaled	BUILD COVERED WALKWAY STRUCTURE - FREE STANDING	BUILD COVERED WALKWAY STRUCTURE - FREE STANDING
6/15/2001	BLD01-2901	BLDG Permit W/Plan Check	Finaled	ELECTRICAL FOR 22,000 SQ FT GYM/CLASSROOM/STORAGE	ELECTRICAL FOR 22,000 SQ FT GYM/CLASSROOM/STORAGE
5/17/2001	BLD01-2335	BLDG Permit W/Plan Check	Finaled	PLUMBING FOR TI IN GYM/CLASSROOMS	PLUMBING FOR TI IN GYM/CLASSROOMS
5/14/2001	BLD01-2251	BLDG Permit W/Plan Check	Finaled	TI/FRAMING & HVAC FOR GYM-5 CLASSROOMS/STORAGE	TI/FRAMING & HVAC FOR GYM-5 CLASSROOMS/STORAGE
4/24/2001	BLD01-1879	BLDG Permit W/Plan Check	Finaled	FIRE SPRINKLERS IN CLASSROOMS/LOCKERROOMS/GYM	FIRE SPRINKLERS IN CLASSROOMS/LOCKERROOMS/GYM
1/22/2001	BLD01-0266	BLDG Permit W/Plan Check	Finaled	FIRE ALARM FOR GYMNASIUM	FIRE ALARM FOR GYMNASIUM
10/24/2000	BLD00-5126	BLDG Permit W/Plan Check	Finaled	SHELL BUILDING FOR GYM AND CLASSROOMS	SHELL BUILDING FOR GYM AND CLASSROOMS
7/12/2000	BLD00-3151	BLDG Permit W/Plan Check	Finaled	INSTALL FREESTANDING SIGN ON GRADE-NON ILLUMINATED	INSTALL FREESTANDING SIGN ON GRADE-NON ILLUMINATED
7/11/2000	BLD00-3137	BLDG Permit W/Plan Check	Plan Check Expired	ADD TO EXISTING FIRE ALARM SYSTEM	ADD TO EXISTING FIRE ALARM SYSTEM
6/21/2000	BLD00-2749	BLDG Permit W/Plan Check	Finaled	BALL WALL IN PLAY AREA OF PARKING LOT	BALL WALL IN PLAY AREA OF PARKING LOT
6/16/2000	BLD00-2683	BLDG Permit W/Plan Check	Finaled	FIRE ALARM SYSTEM TO SCHOOL BUILDING	FIRE ALARM SYSTEM TO SCHOOL BUILDING
4/10/2000	BLD00-1439	BLDG Permit W/Plan Check	Finaled	INSTALL FIRE SYSTEM INTO HOOD	INSTALL FIRE SYSTEM INTO HOOD
11/4/1999	BLD99-2114	BLDG Permit W/Plan Check	Finaled	COMMERCIAL FIRE SPRINKLERS	COMMERCIAL FIRE SPRINKLERS
5/4/1999	B-153794	BLDG Permit W/Plan Check	Finaled	NEW PRIVATE K-8 SCHOOL - APPROX. 54,000 SQ. FT.	NEW PRIVATE K-8 SCHOOL - APPROX. 54,000 SQ. FT.

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Start Date:



End Date:



Project Name:

License Type:

State License Number:

Name of Business:

Street No.:

-

Direction:

Street Name:

Street Type:

City:

State:

Zip:

Parcel No.:

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☐	Date	Record Number	Record Type	Status	Description	Project Name	Action	Short Notes
☐	01/10/2022	BLD22-0191	Building Permit No Plan Check	Finaled	Relocate A/C condensers to roof.	Relocate A/C condensers to roof.		
☐	11/18/2021	21TMP-016843	Building Permit No Plan Check		40 Unit AC-Unit Change out.			
☐	08/30/2016	BLD16-4466	Building Permit No Plan Check	Finaled	Electric gate installation - Country Day School entrance	Electric gate installation - Country Day School entrance		
☐	06/25/2015	BLD15-3088	Building Permit No Plan Check	Finaled	RE-ROOF MAIN SCHOOL BLDG - OVERLAY (E) BUILT UP CAP SHEET ROOF WITH 110 SQ CLASS A TPO	RE-ROOF MAIN SCHOOL BLDG - OVERLAY (E) BUILT UP CAP SHEET ROOF WITH 110 SQ CLASS A TPO		
☐	06/13/2013	BLD13-2651	Building Permit No Plan Check	Finaled	COMMERCIAL REROOF 50 SQ/INSTALL 1/2" FANFOLD UNDERLAYMENT 60 MM TPO ROOF SYSTEM OVER (E) ROOF/SCHOOL	COMMERCIAL REROOF 50 SQ/INSTALL 1/2" FANFOLD UNDERLAYMENT 60 MM TPO ROOF SYSTEM OVER (E) ROOF/SCHOOL		
☐			Building		INSTALL 2 ELECTRIC VEHICLE	INSTALL 2 ELECTRIC		

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- ▶ [Permit Sonoma \(Department website\)](#)
- ▶ [Rebuilding Together \(After major wildfires\)](#)
- ▶ [County of Sonoma](#)

Contact Us

- ▶ Email: PermitSonoma@sonoma-county.org
- ▶ Phone: (707) 565-1900
- ▶ Address: Permit Sonoma
2550 Ventura Avenue
Santa Rosa, CA 95403
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Start Date:

11/05/1905



End Date:

10/07/2022



Project Name:

License Type:

--Select--

State License Number:

Name of Business:

Street No.:

From

-

To

Direction:

--Select--

Street Name:

Street Type:

--Select--

City:

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☐	Date	Record Number	Record Type	Status	Description	Project Name	Action	Short Notes
☐	12/07/2021	BLD21-8934	Building Permit With Plan Check	Void	40 HVAC Unit Change Out			
☐	11/19/2021	BLD21-8581	Building Permit With Plan Check	Issued	Commercial HVAC Unit change out on roof at Country Day School	Commercial HVAC Unit change outs (multiple) on roof at Country Day School		
☐	06/22/2016	BLD16-3186	Building Permit With Plan Check	Finald	REPLACE / IMPROVE PLAYGROUND EQUIPMENT FOR PRIVATE SCHOOL	REPLACE/IMPROVE PLAYGROUND EQUIPMENT FOR PRIVATE SCHOOL		REPLACE / IMPROVE PLAYGROUND EQUIPMENT FOR PRIVATE SCHOOL
☐	09/29/2011	BLD11-4203	Building Permit With Plan Check	Finald	ELECTRICAL PERMIT TO TIE INTO GROUND MOUNT PV SYSTEM PERMITTED BY CITY OF WINDSOR TO SONOMA COUNTRY	ELECTRICAL PERMIT TO TIE INTO GROUND MOUNT PV SYSTEM PERMITTED BY CITY OF WINDSOR TO SONOMA COUNTRY		

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Contact Us

- ▶ Email: PermitSonoma@sonoma-county.org
- ▶ Phone: (707) 565-1900
- ▶ Address: Permit Sonoma
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Santa Rosa, CA 95403
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Record Type:

Record Number:

Start Date:



End Date:



Project Name:

License Type:

State License Number:

Name of Business:

Street No.:

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Direction:

Street Name:

Street Type:

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☐	Date	Record Number	Record Type	Status	Description	Project Name	Action	Short Notes
☐	12/07/2021	BLD21-8934	Building Permit With Plan Check	Void	40 HVAC Unit Change Out			
☐	11/19/2021	BLD21-8581	Building Permit With Plan Check	Issued	Commercial HVAC Unit change out on roof at Country Day School	Commercial HVAC Unit change outs (multiple) on roof at Country Day School		
☐	06/22/2016	BLD16-3186	Building Permit With Plan Check	Finaled	REPLACE / IMPROVE PLAYGROUND EQUIPMENT FOR PRIVATE SCHOOL	REPLACE/IMPROVE PLAYGROUND EQUIPMENT FOR PRIVATE SCHOOL		REPLACE / IMPROVE PLAYGROUND EQUIPMENT FOR PRIVATE SCHOOL
☐	09/29/2011	BLD11-4203	Building Permit With Plan Check	Finaled	ELECTRICAL PERMIT TO TIE INTO GROUND MOUNT PV SYSTEM PERMITTED BY CITY OF WINDSOR TO SONOMA COUNTRY DAY SCHOOL-	ELECTRICAL PERMIT TO TIE INTO GROUND MOUNT PV SYSTEM PERMITTED BY CITY OF WINDSOR TO SONOMA COUNTRY DAY SCHOOL-		
☐	06/29/2007	BLD07-3221	Building Permit With Plan Check	Finaled	INSTALL SECURITY BOOTH AT COUNTRY DAY SCHOOL - NO PLUMBING	INSTALL SECURITY BOOTH AT COUNTRY DAY SCHOOL - NO PLUMBING		
☐	06/18/2002	BLD02-2917	Building Permit With Plan Check	Finaled	NEW COMMERCIAL FIRE ALARM	NEW COMMERCIAL FIRE ALARM		
☐	05/29/2002	BLD02-2522	Building Permit With Plan Check	Finaled	INSTALL COMMERCIAL FIRE ALARM	INSTALL COMMERCIAL FIRE ALARM		

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- ▶ [Permit Sonoma \(Department website\)](#)
- ▶ [Rebuilding Together \(After major wildfires\)](#)
- ▶ [County of Sonoma](#)

Contact Us

- ▶ Email: PermitSonoma@sonoma-county.org
- ▶ Phone: [\(707\) 565-1900](tel:(707)565-1900)
- ▶ Address: Permit Sonoma
2550 Ventura Avenue
Santa Rosa, CA 95403
1

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Currently Searching: Building

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General Search

To search all permits in the system, select the "Search All Departments Permits" box to the right.



Record Type:

Record Number:

Start Date:



End Date:



Project Name:

License Type:

State License Number:

Name of Business:

Street No.:

-

Direction:

Street Name:

Street Type:

City:

State:

Zip:

Parcel No.:

21 Record results matching your search results

Click any of the results below to view more details.

Showing 11-20 of 21 | Download results

☐	Date	Record Number	Record Type	Status	Description	Project Name
☐	05/14/2001	BLD01-2251	Building Permit With Plan Check	Finaled	TI/FRAMING & HVAC FOR GYM-5 CLASSROOMS/STORAGE	TI/FRAMING & HVAC F CLASSROOMS/STORA
☐	04/24/2001	BLD01-1879	Building Permit With Plan Check	Finaled	FIRE SPRINKLERS IN CLASSROOMS/LOCKERROOMS/GYM	FIRE SPRINKLERS IN CLASSROOMS/LOCKE
☐	01/22/2001	BLD01-0266	Building Permit With Plan Check	Finaled	FIRE ALARM FOR GYMNASIUM	FIRE ALARM FOR GYM
☐	10/24/2000	BLD00-5126	Building Permit With Plan Check	Finaled	SHELL BUILDING FOR GYM AND CLASSROOMS	SHELL BUILDING FOR CLASSROOMS
☐	07/12/2000	BLD00-3151	Building Permit With Plan Check	Finaled	INSTALL FREESTANDING SIGN ON GRADE-NON ILLUMINATED	INSTALL FREESTANDIN GRADE-NON ILLUMIN
☐	07/11/2000	BLD00-3137	Building Permit With Plan Check	Plan Check Expired	ADD TO EXISTING FIRE ALARM SYSTEM	ADD TO EXISTING FIRE SYSTEM
☐	06/21/2000	BLD00-2749	Building Permit With Plan Check	Finaled	BALL WALL IN PLAY AREA OF PARKING LOT	BALL WALL IN PLAY AR PARKING LOT
☐	06/16/2000	BLD00-2683	Building Permit With	Finaled	FIRE ALARM SYSTEM TO SCHOOL BUILDING	FIRE ALARM SYSTEM TO BUILDING

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Search for Records

Currently Searching: Building

[Building](#) | [Engineering](#) | [Fire](#) | [Planning](#) | [Well and Septic](#) | [Enforcement](#)

General Search

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☒ Search All Departments Permits

Record Type:

Record Number:

Start Date:



End Date:



Project Name:

License Type:

State License Number:

Name of Business:

Street No.:

-

Direction:

Street Name:

Street Type:

City:

State:

Zip:

Parcel No.:

21 Record results matching your search results

Click any of the results below to view more details.

Showing 21-21 of 21 | Download results

☐	Date	Record Number	Record Type	Status	Description	Project Name	Action	Short Notes
☐	05/04/1999	B-153794	Building Permit With Plan Check	Finaled	NEW PRIVATE K-8 SCHOOL - APPROX. 54,000 SQ. FT.	NEW PRIVATE K-8 SCHOOL - APPROX. 54,000 SQ. FT.		

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Record PLP95-0022:

Planning Project

Record Status: Done

Record Info ▼

Payments ▼

Conditions 2

A notice was added to this record on 09/21/2016.

Condition: 2002 FM 059-350-081 & PT 077 2001R142583 LLA00-85 FM 059-350-081 & PT 059-350-077 Severity: Notice

Total Conditions: 2 (Notice: 2)

[« Go Back to View My Records](#)

To make a payment, select "Payments" above.

Below are the details of your permit.

Work Location

4400 DAY SCHOOL PL, Santa Rosa, CA 95403

Record Details

To see additional information under More Details in the sections below, click the carrot and/or the plus sign, to expand the section.

Applicant:

SONOMA COUNTRY DAY SCHOOL
ATTN HEADMASTER PHILIP NIX
SANTA ROSA, CA, 95403
Main Phone: 7072843200

Project Description:

GPA/MJS/SPA/UPE/ZCE PRIVATE SCHOOL 220 STUDENTS. REVISION TO FILE TO INCREASE MAXIMUM NUMBER OF STUDENTS FROM 220 TO 295 SUBMITTED 1/28/2000 REVISION TO PLP95-0022 TO INCREASE MAXIMUM NUMBER OF STUDENTS FROM 295 TO 550 STUDENTS AT EXISTING PRIVATE SCHOOL SUBMITTED ON 2/24/2003. NO PHYSICAL CHANGES OR ADDITIONS TO SITE WOULD OCCUR WITH THIS PERMIT. NOTE-THIS REQUEST SUBSEQUENTLY MODIFIED ON 11/29/2005 - SEE BELOW 11/29/2005 REQUEST FOR A REVISION TO A

PREVIOUSLY APPROVED USE PERMIT (PLP95-0022) TO INCREASE THE MAXIMUM NUMBER OF STUDENTS AT THE PRIVATE SONOMA COUNTRY DAY SCHOOL FROM 295 TO 440 . NO PHYSICAL CHANGES OR ADDITIONS TO SITE WOULD OCCUR WITH PERMIT.

▼ More Details

☐ Related Contacts

Contact information

GUSTAVSON ANDY
2360 MENDOCINO AVE
SANTA ROSA, CA, 95403
Main Phone:7075462800

☐ Application Information

RECORD INFORMATION

Type:	School
Record SubType:	IS03
SubType:	Stand Alone
Public Owned:	No
Fees Waived:	No
Records Scanned:	Yes

WELL MONITORING INFORMATION

Well Monitoring Required:	No
---------------------------	----

GIS INFORMATION

Air Quality Control Board:	BAY AREA AIR QUALITY
Building Inspector:	JBRADFOR
Fire District:	RINCON VALLEY FPD
Fire Protection Response Area:	LRA
Sanitation District:	AIRPORT/LARKFIELD/WIKIUP
Supervisory District:	District 4

☐ Parcel Information

Parcel Number:

059-350-094

Inspections

You must be registered and logged in to request an inspection. Follow the links at the top of this page.

Upcoming

You have not added any inspections.

Completed

There are no completed inspections on this record.



SONOMA COUNTRY DAY SCHOOL

4400 DAY SCHOOL PLACE SONOMA COUNTY CALIFORNIA

RESOURCE DESIGN
LANDSCAPE ARCHITECTURE

SANTA ROSA
SITE PLANNING

CALIFORNIA
ARBORICULTURE

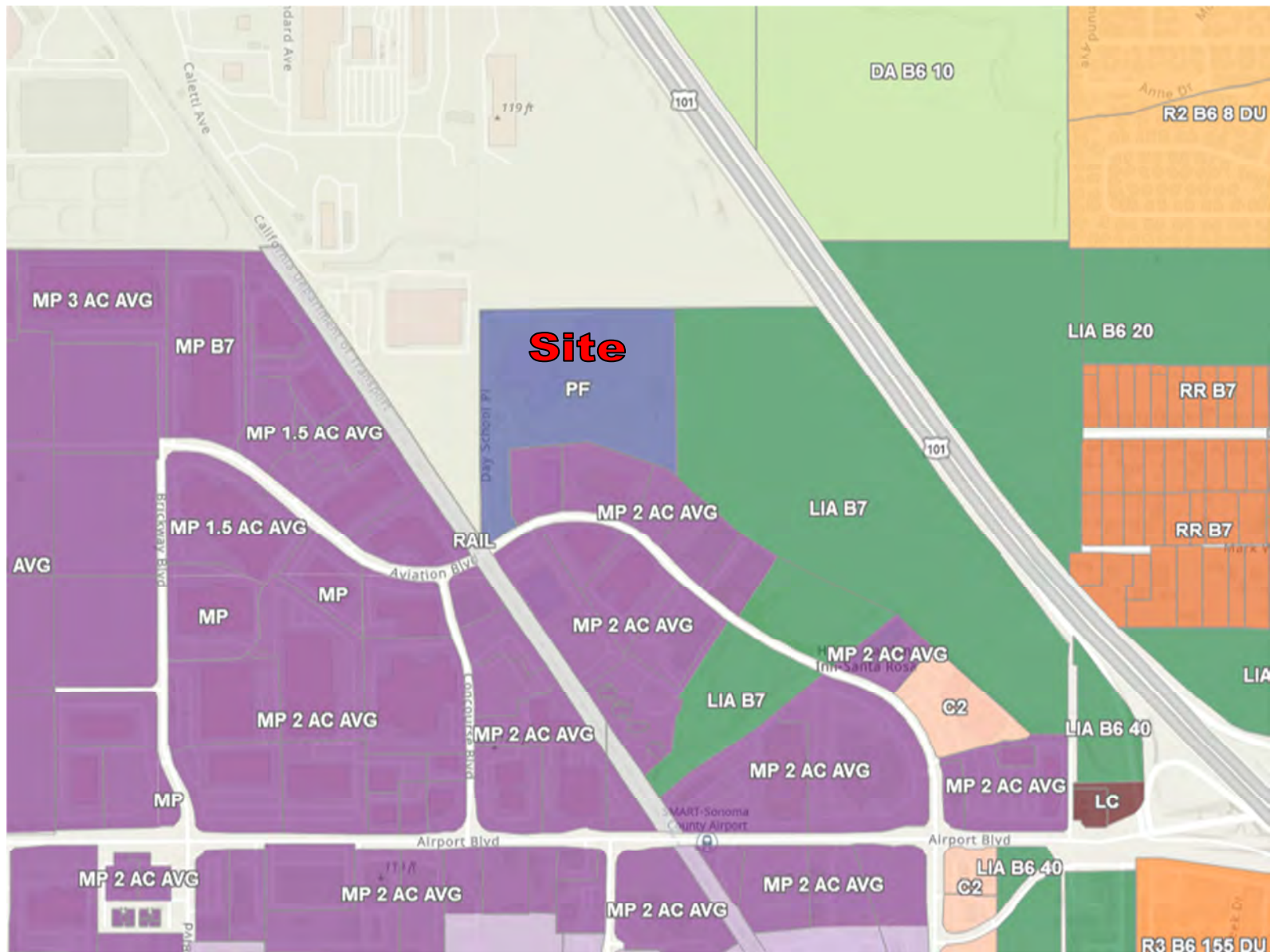
(707) 526-5009

WWW.RESOURCE-DESIGN.COM

Site Plan - Existing Conditions

0' 25' 50' 100'
SCALE: 1" = 50'-0"

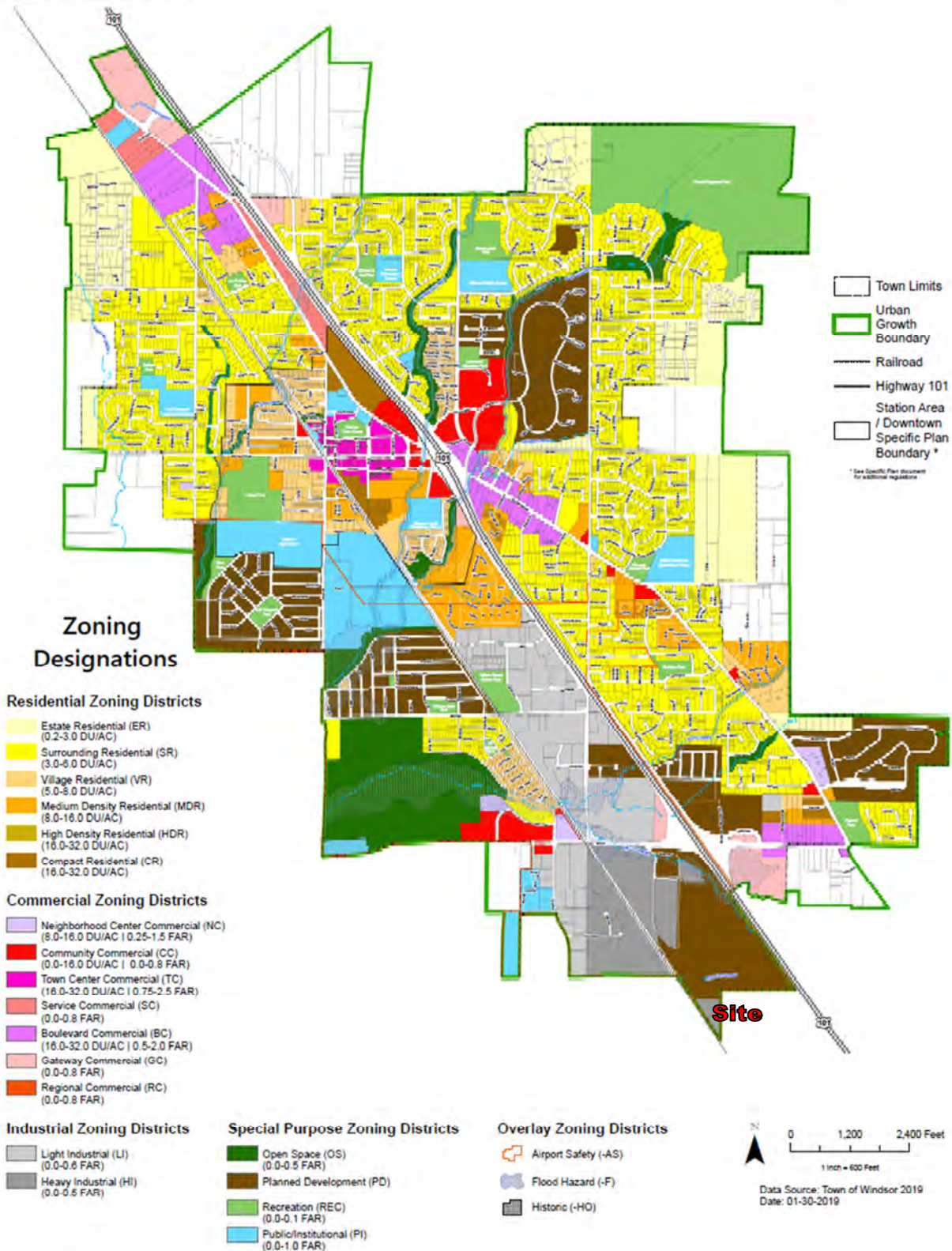




The main (eastern) portion of the subject property at 4400 Day School Place, Santa Rosa, CA, is located in Sonoma County Zoning District PF (Public Facility) with an SR (scenic resource) overlay.

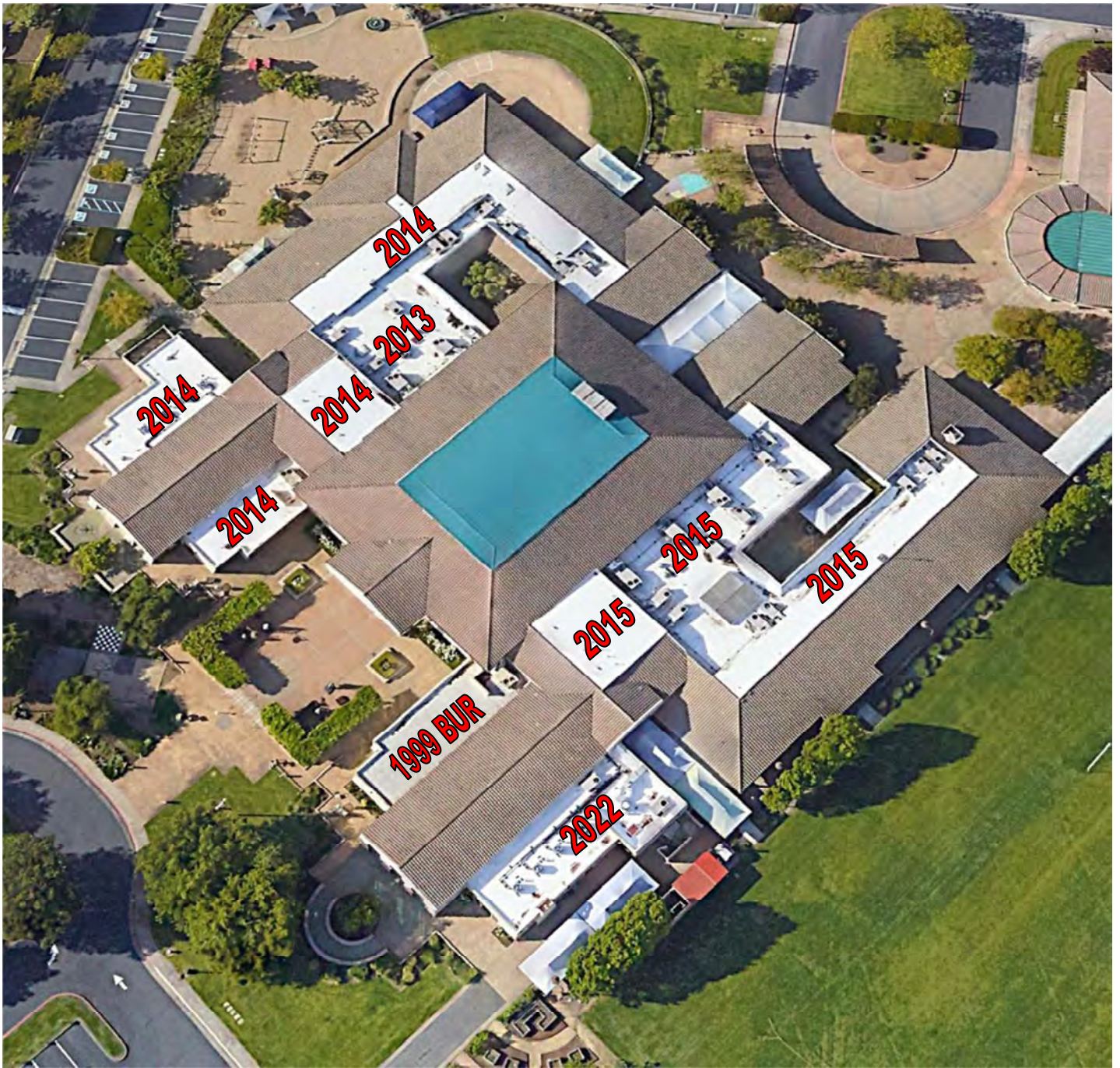


Town of Windsor Zoning



The western portion of the subject property at 4400 Day School Place, Santa Rosa, CA, is also located in Town of Windsor Zoning District LI (Light Industrial).

APPENDIX B



Main Bldg roofing dates for new TPO systems.

CORNERSTONE ROOFING INC

PO BOX 2059
Sebastopol, Ca 95473

Lic. #909400
707-546-3547
FAX 546-3733

BID AND SUBCONTRACT FORM

Date: 02/17/2022

To: Whom it may concern

Re: All Star Rents
4400 Day School Pl.
Santa Rosa, CA

We propose to furnish for the Sonoma Day School
All labor and materials to complete roof in a good workman like manner as described
below.

ROOF SYSTEM IS A 60 MIL TPO (Thermoplastic Polyolefin) Overlay

- Tear off and dispose of existing roofing materials on walls and curbs
- Supply and install FR-10 slip sheet over existing cap sheet
- Supply and install all new TPO pipe boots on pipe penetrations
- Supply and install new through the wall TPO clad metal drains
- Supply and install 60 mil fully adhered TPO system on walls and curbs
- Supply and install 60 mil mechanically fastened TPO membrane per manufacturers specifications to field
- Supply and install fully adhered TPO membrane wrap to all new condenser unit blocks

PRICE: \$16,639.00

- Supply and install TPO overlay after all new equipment and conduit have been set add \$2,515.00
- In the instance a 20 yr. NDL manufacturer's warranty is required there will be an additional cost

Contractors are required by law to be licensed and regulated by the Contractors' State License Board which has jurisdiction to investigate complaints against contractors if a complaint regarding a patent act or omission is filed within four years of the date of the alleged violation. A complaint regarding a latent act or omission pertaining to any structural defects must be filed within 10 years of the date of the alleged violation. Any questions concerning a contractor may be referred to the Registrar, contractors' State License Board, P.O. Box 26000, Sacramento, California 95826, 1-800-321-2752.

You, the buyer, have the right to require the contractor to have a payment and performance bond. However, the contractor can require you to pay that bond.

- (1) TERMS: Due upon completion of contract or progress billing. If not paid within 10 days after completion or progress billing, the amount will be considered delinquent and we reserve the right to send our attorneys for collection. In the event, it is necessary to employ an attorney to enforce the terms of the contract, the customer agrees to pay a reasonable sum for attorney fees, court costs, and 1 ½ percentage per month interest on the unpaid balance.
- (2) GUARANTEE: The above work shall be guaranteed against defects of workmanship and materials for a period of two (2) years and shall not cover faulty chimneys, flashing or carpenter work (unless work performed by CORNERSTONE ROOFING), or conditions beyond our control.
- (3) ACCEPTANCE: This bid must be accepted in writing within 10 days from the date hereof, or if not so accepted, at the sole option of CORNERSTONE ROOFING, it may be withdrawn, declared void, and subject to rebid. If the job is not ready for CORNERSTONE ROOFING to commence its portion of labor and materials thereon within 30 days after acceptance, at the sole option of CORNERSTONE ROOFING, the contract may be declared void and CORNERSTONE ROOFING shall be thereupon be relieved from all obligation.
- (4) MEMBRANE: Membrane work is applied to plans and specifications. Proceeding with overlayment of any other function continues acceptance of work as applied and release of the subcontractor from all responsibility with respect to the membrane.
- (5) JOB ACCESS: In the event of the construction site and/or improvements, the subject hereof, are not freely and readily accessible
To the men and/or equipment of CORNERSTONE ROOFING because of obstruction, weather conditions or any other cause, this bid may be withdrawn at any time upon written notice; and if the work has been commenced by CORNERSTONE ROOFING hereunder and such conditions arise, CORNERSTONE ROOFING may withdraw from such work and be released from all further obligation hereunder unless a new price can be agreed upon by the parties. If CORNERSTONE ROOFING has commenced work hereunder and withdrawn because of such conditions, it shall be entitled to payment for the reasonable value of labor and/or materials supplied to the date of withdrawal.
- (6) COMMENCEMENT OF WORK: In the event CORNERSTONE ROOFING is requested to commence work hereunder even Though this bid has not been accepted in writing, the performance of such work shall be deemed by the parties to be pursuant to all the terms hereof, and not other terms.
- (7) REROOFING: CORNERSTONE ROOFING does not assume responsibility for rotted structural lumber. In the event, carpentry work is required to meet city or county ordinances, the owner agrees to pay for such repairs on a time and materials basis, at a labor rate of \$120.00 per hour.
- (8) ASBESTOS DISCLAIMER: This proposal is based on the assumption that the existing roof does not contain asbestos or any material containing asbestos. Contractor is not engaged in the identification, abatement, encapsulation, or removal of asbestos or asbestos-containing materials and will not be responsible for asbestos abatement or removal. In the event that asbestos or materials containing asbestos is discovered during the course of the work described in this proposal, contractor reserves the right to rescind this contract and receive payment for work to remove the asbestos from the work site. Contractor shall be entitled to reasonable compensation for extra expenses incurred by contractor as a result of the presence of asbestos- containing material at the work site.
- (9) Contractor is not responsible for claims, demands, or damages arising out of the removal of asbestos from the work site and the owner, by accepting this proposal, agrees to release contractor from any such claims demands or damages.
The owner, in consideration of contractor performing the work described in this contract, hereby agrees to indemnify, defend and hold harmless contractor from and against any and all liability, damages, losses, claims demands or lawsuits arising out of or relating the presence of asbestos or material containing asbestos at work site.
- (10) Buyer has the right to rescind this agreement within three working days of date of acceptance.
- (11) WARNING: Roofing operations are, at times, noisy and may cause unavoidable vibrations. Owner should protect any valuables which might be dislodged from walls, shelving, or ceilings during the roofing operation as well as any valuables in the garage that may be susceptible to dust and falling debris. CORNERSTONE ROOFING can not be responsible for any driveway cracks or damage. Unless specifically stated to the contrary, this proposal does not guarantee roof drainage.

BY _____
LUCAS SMITH

ACCEPTED _____

DATE _____

DATE _____

Note: Upon acceptance of this proposal, please sign and return one copy for our records. Please call if you have any questions.

Pavement Maintenance Proposal

Redwood Empire Food Bank

Alison Smith

Project:

REFB/Sonoma Country Day School

4400 Day School Pl
Santa Rosa, CA 95403



Brad Davis
Chief Estimator

Safety. Quality Work. Excellent Service

Company Info



SNS Asphalt Services
P.O. Box 7347
Santa Rosa, CA 95407

P: 707-528-3377
F: 707-544-7149

<https://www.snsasphalt.com>

Contact Person

Brad Davis
Chief Estimator
brad@stripensealinc.com
Cell: 707-975-9691
Office 707-528-3377

About Us

PROUDLY SERVING THE WINE COUNTRY AND BEYOND FOR OVER 50 YEARS!!

Since 1971, our customers have trusted us to provide the highest quality service and solutions that are superior to our competition. As a result, we are the asphalt service leader in our community. SNS Asphalt Services (Stripe 'N' Seal & Aaron Paving) wants the best for your property as well as our future business relationship. From our family to yours, we wish you the best on your project!!

SNSASPHALT.COM CA #308128

Asphalt Repair (Red Areas- See Site Plan)

1. This area includes approximately **(505)** square feet and **(2)** ea damaged speed bumps.
2. Set up traffic safety signage and barricading surrounding the work area.
3. Our firm will excavate or grind out the specified area(s) of deteriorated asphalt up to a depth of **(4)** inches. We will off-haul and dispose of the materials at a proper recycling facility.
4. Balance and compact existing underlying base to ensure optimum strength.
5. Liquid asphalt adhesive is applied to all vertical asphalt edges.
6. Provide, properly place, and compact **(4)** inches of hot mix asphalt to the specified area(s).
7. When asphalt is paved 4"-6" thick, it will be compacted in *two lifts* in order to achieve optimum compaction and improved finished look.
8. After completion, we will clean the area, properly dispose or recycle our debris, and open this area to traffic when it is safe.
9. To achieve the most efficient performance and minimal interruption to this site, we have priced this work to be completed in **(1)** weekday(s).

Total Price: \$8,400.00

Asphalt Repair (Yellow Area- See Site Plan)

1. In order to provide more value to our services, this additional work option is priced at a discounted rate since the work crews and resources will be on-site. If you would like to complete this work on a later date, there is a significant cost increase for mobilization, planning, labor, and material price increases. Please feel free to ask about the benefits of doing this additional work.

Total Price: \$1,827.00

Hot Rubberized Crack Sealing

1. On the very same day as asphalt sealing, properly remove dirt, loose gravel, and weeds from cracks in order to provide an adequate sealant reservoir.
2. Fill cracks 1/4" and wider with rubberized crack sealer.
3. This will leave a slightly visible 4" wide band wherever these cracks have been sealed.

Total Price: \$1,460.00

Asphalt Preparation and Sealcoating (Orange Area- See Site Plan)

1. This area comprises approximately (**70,000**) square feet. (**See Attached Site Plan**)
2. Set up traffic safety signage and barricading surrounding the work area.
3. Asphalt surfaces will be cleaned free of loose materials, weeds, grass and dirt with wire brushes, power blowers and a vacuum power broom when necessary.
4. Tape off all utility lids, drains, and manhole covers.
5. **Oil Stains** will be scraped, cleaned, and then a latex *Polyseal* product will be applied to these areas when necessary.
6. **Squeegee Application:** Install a **2 coat** application of our asphalt sealant product by hand squeegee and machine buggy in order to insure the best finished look and proper application rate.
7. **Sealant Material:** Our sealing company applies **Overkote Plus** pavement sealer by *Raynguard* because it has proven to be a durable, flexible, and long lasting product when compared to all other asphalt sealants available.
8. **Additives:** Based on the existing condition of the asphalt, our experienced crew members will add latex and #30 sand to the sealant mixture in order to help fill voids and provide a better finished look.
9. To achieve the most efficient performance and minimal interruption to this site, we have priced this work to be completed in **(1) weekday(s)**. If you would like this work sequenced differently, please feel free to ask us as it may change our pricing.
10. After completion, we will clean the area, properly dispose or recycle our debris, leave this area barricaded for proper overnight drying.

Total Price: \$12,941.00

Striping and Stenciling

1. On the next day after sealing, layout and re-paint the pavement markings affected by this work per the existing layout with **Low VOC commercial grade traffic paints**.
2. If you would like any changes to the striping layout, please bring this to our attention before the project.
3. After completion, we will clean the area, properly dispose or recycle our debris, and re-open this area to traffic when it is safe.

Total Price: \$2,465.00

Crack Seal Sealcoat and Stripe Blue Area (See Site Plan)

1. In order to provide more value to our services, this additional work option is priced at a discounted rate since the work crews and resources will be on-site. If you would like to complete this work on a later date, there is a significant cost increase for mobilization, planning, labor, and material price increases. Please feel free to ask about the benefits of doing this additional work.

Total Price: \$5,980.00

Add Option: Weekend Work

1. In order to reduce disruption to pedestrian access or nearby businesses, we will perform the **sealing and striping** work over a weekend for this additional labor and coordination cost.

Total Price: \$4,000.00

Asphalt Repair Site Plan



Notes:

Asphalt Seal Site Plan



Notes:

Price Breakdown: REFB/Sonoma Country Day School



Please find the following breakdown of all services we have provided in this proposal.

This proposal originated on June 18, 2020. **Job Number:** D20045/D20044

Item	Description	Cost
1.	Asphalt Repair (Red Areas- See Site Plan)	\$8,400.00
2.	Asphalt Repair (Yellow Area- See Site Plan)	\$1,827.00
3.	Hot Rubberized Crack Sealing	\$1,460.00
4.	Asphalt Preparation and Sealcoating (Orange Area- See Site Plan)	\$12,941.00
5.	Striping and Stenciling	\$2,465.00
6.	Crack Seal Sealcoat and Stripe Blue Area (See Site Plan)	\$5,980.00
7.	Add Option: Weekend Work	\$4,000.00

Authorization to Proceed & Contract

This proposal may be withdrawn and/or pricing may be updated if not accepted within 15 days and scheduled for completion within 45 days upon acceptance. The above pricing, scope of work, payment terms, and terms and conditions on this and the following page(s) are satisfactory and are hereby accepted. You are authorized to do the work as specified.

Acceptance

We agree to pay the total sum or balance in full upon completion of this project.

Monthly progress payments are required for projects extending past 30 days. Service charges of 1.5% per month may be added on to any unpaid balance.

Date: _____

Alison Smith | Director of Operations & Supply
Chain
Redwood Empire Food Bank
3990 Brickway Blvd
Santa Rosa, CA 95403
asmith@refb.org
C: 707-800-5640
O: 707-523-7900 Ext: 119

Brad Davis | Chief Estimator
SNS Asphalt Services
P.O. Box 7347
Santa Rosa, CA 95407
E: brad@stripensealinc.com
C: 707-975-9691
P: 707-528-3377
F: 707-544-7149
<https://www.snsasphalt.com>

Contract Terms & Conditions

1. **Our Guarantee to You:** All work will be completed in a workmanlike manner according to standard industry practices. Our application methods and selected material products are of the highest quality this industry has to offer. Our goal is 100% client satisfaction with the quality of our work.
2. **Our Included Insurance Package:** For both yours and our protection, we pay a premium for insurance coverage that exceeds this industry's standard. All of our employees are protected by Worker's Compensation Insurance. We will provide you with a certificate and additionally named insured documents upon request. Our insurance does not cover the Owner's property in regards to Builder's Risk, Earthquake, Wind or Fire Damage. If interested in these coverages, the Owner should check with their insurance company and would be responsible for obtaining."
3. **Owner's Responsibilities:** Please turn off irrigation 48 hours prior and remain off until 24 hours after all sealing and striping services. Have all weeds sprayed and landscaping cut back behind curbs and edges of asphalt (see "Asphalt Cleaning and Preparation" section). Provide and identify at least (1) on-site water source for the small amount of water we may need to perform our services. Make sure that all parties involved have been properly notified of this work, we will provide you with a professional notice. Provide a preferred towing service in case vehicle towing is necessary (see "Vehicle Towing" section). Please read the following information entirely:
4. **Tire Marks and Tearing:** During the curing process of all asphalt products, tire marks and tears will occur. Please do not be alarmed, this occurrence is unavoidable and happens on all freshly sealed or paved asphalt surfaces. In time, these markings will blend in and become less noticeable. Tire marks are more frequent directly after completion, in warm conditions, in areas of heavy traffic, and after thick coating applications. Although asphalt products can be dry to the touch within a few hours normally, they may take 6-12 months to fully cure. Tearing marks can be touched up later if desired with an additional trip charge.
5. **Vehicle Towing:** It is the owner's responsibility to identify a towing service that may be contacted on the day of the work. If vehicles are in the way of our work on the scheduled day, these vehicles may be towed at the expense of the property or vehicle owner. Stripe N Seal Inc. and towing company hired are not responsible for damages to vehicles as a result of moving or towing vehicle.
6. **Asphalt Cleaning and Preparation:** Our services include wire broom, crack debris removal, and back pack blowers to push debris away from the surface. For larger and commercial projects, we use a vacuum assisted power broom machine. Areas of moss, algae, flaking sealcoat, light or heavy dirt staining, must be cleaned prior to our work. Weeds growing from cracks must be sprayed with an herbicide (2) weeks prior to our work. Grass or dirt that has covered the edges of asphalt or curbing must be exposed and cleaned prior to our work. Remove all dirt, debris, or other loose items off of the asphalt area. Additional cleaning fees may apply if asphalt conditions are not in accordance with these guidelines. Stripe N Seal Inc. is not responsible for adhesion problems due to these conditions.
7. **Crack Sealing:** Asphalt is constantly moving due to thermal expansion/contraction, expansive soils, and vehicle loading. Over time, it becomes brittle and loses the elastic ability to flex. This first results in the form of a crack, similar to the concept of an "expansion joint". The intended use of crack sealer is to reduce, not eliminate, the amount of water intrusion into cracks. Crack sealer will tear when vehicle tires are turned on top, especially in the heat of the day. This material is rubberized in order to stretch and compress as cracks open and close. When this happens, crack sealer materials may settle, split, or rise soon after application. This cannot be prevented with the use of elastic rubberized crack sealing materials. Crack sealer will be visible through Sealcoat in the form of a slightly raised black colored 4" wide band wherever the cracks have been filled. Our crack sealing methods include filling cracks that are approximately 1/4" wide and wider. Cracks that are smaller than 1/4" are deemed too small for the proper amount of material to expand and contract with movement. "Alligatored" or closely formed cracking areas in your asphalt are not filled with rubberized crack sealer. These areas will need asphalt excavation repair when the time is right.
8. **Sealcoating:** Sealcoat products are not guaranteed to adhere to asphalt saturated with water, dirt, mud, dust, tree sap, oil, or other foreign materials (see "asphalt cleaning" section). Sealcoat "flaking" may occur when our sealcoat product is being applied on top of a previously sealcoated surface, wherever sealcoat has been applied very thick on past applications, on surfaces that are not pressure washed prior to our work, wherever standing water occurs, etc. Small, thin hairline cracks in the sealcoat may occur during the curing stage wherever sealcoat has been heavily applied or overlapped. Streak marks may be visible from application. Sealcoat is not designed to restore old and coarse asphalt back to new condition. Carports or covered areas may receive one heavy coat since they are protected from the sun. (see "Tire Marks and Tearing" section)
9. **Slurry Sealing (Type 2):** Surface aggregate will shed during the curing process. This residual sand can be blown away or swept by owner at a later date. Striping paint may need re-coating within a year or two after completion. Not guaranteed to adhere to concrete or unstable ground. On smooth surfaces, slurry seal will tear easier and wear

faster. In time, cracks will reflect through slurry seal.

10. **Asphalt Paving/Repairs:** Work is specified in detail within our service description and pricing. If we encounter asphalt that is thicker than specified in this proposal, additional asphalt material and labor fees may be required. This additional discounted fee must be in the form of a verbal and written agreement between SNS and the owner immediately after discovery of this unforeseen occurrence (see contract changes and additional work section). SNS is not responsible for unforeseen soft subgrade conditions below asphalt surface. Additional efforts required to stabilize these areas will be provided at a discounted rate and must also be agreed upon immediately after discovery in the form of a verbal and written agreement. Small puddles are normal on all new asphalt surfaces that are less than 2% slope. These small areas of standing water will not cause damage to asphalt and will evaporate quickly. Asphalt Overlays will eventually show reflective cracking. Tire marks may occur during the curing stages of new asphalt. Fresh concrete may have small hairline cracking after pouring as a result of shrinkage and hardening. All provided site plans are for referencing purposes only and may not be "to scale".
11. **Traffic Paint:** Paint products are not guaranteed to adhere to asphalt saturated with water, dirt, mud, dust, tree sap, oil, or other foreign materials (see "asphalt cleaning" section). Concrete must cure for more than 30 days prior to painting. In smooth or freezing conditions, striping paint can be slippery. Curb paints may flake as a result of too many layers of paint.
12. **Payment Terms:** Full payment due upon completion of our work. Monthly progress payments are required for projects extending past 30 days. Service charges of 1.5% per month to be added to any unpaid past due balance. For your convenience we accept MasterCard and Visa for most accounts, please call for details.
13. **Contract Changes:** Changes to the above listed description of work that require additional cost, time, or sequencing must be mutually approved by written or verbal contract change order directive prior to execution. Examples of potential changes may include directives by the owner, it's representative, a governing agency, unforeseen site conditions, underground utility conflicts, thicker than specified asphalt or concrete replacement, items of work not specifically included, soft base conditions, cars or other work area obstructions, irrigation left on, etc.
14. **Potential Costs Items Not Included:** Permits, permit processing, fees, prevailing wages, testing, design, inspections, engineering, on-site water source, towing, additional phasing, or handling contaminated material. All agreements contingent upon strikes, accidents, or delays beyond our control. SNS is not responsible for repair of unknown underground utilities and scratches/tire marks from heavy equipment and trucks. This quote is based on the current material pricing. If the price of these materials increases prior to the start of your project due to customer scheduling delay(s), Stripe N Seal Inc. reserves the right to add a surcharge. The surcharge will only reflect the actual cost passed on by our suppliers. Please feel free to contact us if you have any questions.
15. **Important Notes:** Stripe N Seal Inc. cannot be responsible for observing and identifying all existing conditions such as tripping hazards, tree root damage, uneven surfaces, and other liabilities that exist among sidewalks and parking lots. Water drainage improvements are not included in our work unless specifically noted.
16. **ADA Improvements:** Owner acknowledges that all work to be performed by contractor pursuant to this proposal is at the specific direction of owner and that contractor makes no representations as to whether or not the work directed by owner complies with all governing agency disability access requirements. Owner has hereby been advised by contractor to obtain the professional advice of owner's engineers, consultants or other ADA experts in order to determine whether owner's premises are in compliance with the ADA or other disability access laws. Owner acknowledges that owner is not relying on contractor to determine such code compliance. Owner agrees to defend, indemnify and hold contractor harmless from any claim by owner or any third party that owner's premises do not comply with disability access requirements or that the work performed by contractor pursuant to owner's direction does not comply with disability access requirements. In the event suit is initiated to enforce any terms of this contract, venue shall be Sonoma County and the prevailing party shall be entitled to reasonable attorneys' fees.
17. **Required California Contractors License Board Statements Including Mechanics' Lien Warning:** Under the California Mechanics' Lien Law, any contractor, subcontractor, laborer, supplier or other person or entity who helps to improve your property, but is not paid for his or her work or supplies, has a right to place a lien on your home, land or property where the work was performed and to sue you in court to obtain payment. To preserve the right to file a claim or lien against your property, certain claimants such as material suppliers are required to provide you with a document called a "Preliminary Notice." A preliminary notice is not a lien against your property. Its purpose is to notify you of persons or entities that may have a right to file a lien against your property if they are not paid. For more information on mechanics liens please visit our website www.stripensealinc.com or call our office (707) 528-3377. Additional info can also be found by visiting www.cslb.ca.gov or by calling CSLB at 800-321-CSLB.

Questions.01 for SCDS, Santa Rosa, CA

Text in blue indicates information provided at site visit on October 10, 2022.

Text in green indicates line items that may require further information or action from Sean McFarland.

Please provide new information in red.

1. When was the parking lot last resealed and restriped? September 2020
2. Except for the small amounts of TPO roofing installed on the Main Bldg in 2013 and 2015, do the other roofing systems date to original construction? One small BUR section only Plus covered walkway between main building and gym
3. Is roof maintenance provided on a regular, scheduled basis? Or is it just scheduled as-needed? Annually
4. When is the above roof maintenance performed, typically? This is usually done in the fall before the rainy season, gutters are cleaned at this time as well.
5. Who provides roof maintenance? In-house staff
6. Are there any known, current leaks though the roofing systems or skylights at either building? Discussed at site. Sean can edit if desired. As of spring 2022, there was a significant leak at the lower school indoor courtyard coming from in the area where the flat roof met the parapet wall. A roofing contractor was contacted, and the drainage scupper was rebuilt with new TPO. The leak persisted, and now will require the replacement of the OSB below the roofing system. The school is waiting for further rains to determine if the leak is persisting after the replacement of the Rooftop HVAC units.
7. Are there any known, current leaks though the window/wall systems at either building? Possible leak from northwest corner of center skylight in Gym. This has been an intermittent problem.

8. Are there any known occurrences of roof gutter failure or degradation? **A few of the south facing gutters on the main building facing sun court have noticeable leaks. This is likely due to the inaccessibility of these gutters due to landscaping planters leading to deferred maintenance.**
9. When was the last time that the building exteriors were completely repainted? **Summer 2021**
10. Is the site located on artificial fill? **No**
11. Are there any issues of differential settlement of slabs or soils subsidence at the property? **None have been noted**
12. Who provides HVAC maintenance? **Currently, the in-house staff maintains the Rooftop mounted HVAC units and main building split systems. A chiller contractor provides annual maintenance and service to the air-cooled chiller. In-house maintenance staff service the gym air handlers on a bi-annual basis.**
13. Have there ever been any underground sewer line leaks or sewer line replacements? **No**
14. Is there a history of sewer line blockages? **Other than minor blockages, no.**
15. Have there ever been any underground natural gas line leaks or gas line replacements? **No**
16. Is there a history of flooding into the interior of the buildings? **Not in the last 8.5 years.**
17. Has an ADA survey been conducted for the property? **Not other than the AllWest report done in 2015**

If yes to above, can a copy of the report be provided to me? **2. Accessibility**

SCDS wished to rely upon a previous study by AllWest for the Accessibility Review. The following is a summary of the key items in the 04/27/15 Property Condition Assessment Report that were found to be non-compliant:

- **Access to the public way**

- Theater: Add 7 additional accessible seats
- Update parking related signage & striping
- Add 20 foot drop off zones
- Upgrade Accessibility at playgrounds
- Add an Accessible shower at locker room

18. Have there been any ADA related complaints, fines, or lawsuits? **Not as of this date**

19. Do you have a list of planned capital expenses? **Please provide.**

Painting

Main gym, foyer, restrooms and hall = 100,000

Lower School hallway and restrooms = 20,000

Upper School hallway and restrooms = 20,000

Main building West = 8,500

Main building Center = 35,000

Main building East = 8,500

Library = 8,000

Mechanical:

1. Fire Alarm / Life Safety/Electrical

Blakeslee Electric performed a site review on 03/02/16. The following is a general summary of the report recommendations:

- Smoke detectors to classrooms may be added, but are not required when an automatic sprinkler system is in place. Adding them would be in line with industry best practices.

- The fire alarm system is not capable of voice annunciation for evacuation. This was not a requirement when the school was built, but is required for new schools. It will likely be needed at some point.
- The AFP-400 FireAlarm Panel is no longer in production and not expandable past its current capacity
- It should be noted that the distribution panels at the gym appear full
- Most lights are fluorescent. SCDS may wish to consider upgrading to LED fixtures.
- The PCI Lighting control system at the gym is no longer supported. It would be best to consider replacing it with another system while it is still operational.

2. Accessibility

SCDS wished to rely upon a previous study by AllWest for the Accessibility Review. The following is a summary of the key items in the 04/27/15 Property Condition Assessment Report that were found to be non-compliant:

- Access to the public way
- Theater: Add 7 additional accessible seats
- Update parking related signage & striping
- Add 20 foot drop off zones
- Upgrade Accessibility at playgrounds
- Add an Accessible shower at locker room

4. Sustainability

- Consider rain water harvesting
- Insulation upgrades where appropriate

5. Security

- Monitoring for existing NVR system
- Gate and fence

Priorities for Campus Improvements and Initiatives 2021-22- 23

Status: **Complete**
 In Progress
 Planned for Summer 2022
 On Hold/Future planned

Cost Estimate

1. HVAC

\$650,000

2. EXTERIOR PAINTING/color consultant

(changing green columns) Coy Brown painting - still valid 11/21	\$228,750
Add painting lower school playground fence	\$7250
Color Consulting - Vesna Breznikar - meeting scheduled 12/16	\$7,500
10% Contingency	\$24,350
TOTAL PAINTING	\$264,850

3. Recarpet 9 (main bldg) classrooms, administration area and gym hallways and classrooms

	East wing classrooms (completed 12/21) and Admin (summer 22)	\$39,753.00
	Gym Second Floor Classes and hallways (summer 22)	\$28,842.00
	Theater ground floor and balcony (requires removal of balcony Seating. Possible summer 2023 project)	\$31,142.00
	10% contingency	\$9,973.7
	Remaining carpet - Downstairs gym offices, 1 office in main building	Pending
	TOTAL CARPET	\$109,692
4.	Repaint Admin area, development, business office, etc.	
	Coy Brown painting (still valid 11/2021)	\$4250
	Price to paint windows, doors, office trim	\$3,550
	10% contingency	\$780
	TOTAL INTERIOR PAINTING COMPLETE	\$8,580
	INTERIOR PAINTING PROPOSED	
	• Main gym, Foyer, restrooms and halls	\$100K
	• Lower school hallways and restrooms	\$20K
	• Upper school hallways and restrooms	\$20K
	• Gallery West	\$8.5k
	• Gallery Center	\$35K
	• Gallery East	\$8.5K
	• Library	\$8K
5.	Furnish Sun Court with new outdoor furniture and shade	\$11,000
6.	Re landscape coyote bush outside lower school playground	\$52,000
7.	Rebuild trellis structure in sun court	\$18,000
8.	Furniture for Business office/Development area	pending cost
9.	Re-furbish stage (sand, prep and re-coat with pro-grade product)	\$24,900
10.	Engage AllWest to develop new immediate needs & replacement reserve analysis forecasting expenses for the next 12 to 60 months	\$11,160
11.	Audio/Video for outdoor events	pending cost

12. **SOUND MITIGATION FOR GALLERY**

Adding roller shades to windows \$7K Add
acoustical ceilings to gallery
\$33,000+sprinkler head/light lowering

13. Build a wall between E3&E4 (pending)
Excel Custom contracting \$7,500

14. **Security UPGRADES**

Replace security panel and keypads in main building Pending
Add cameras to interior areas to cover inside doorways/hallways Researching
Add cameras to blind spots east of garden/knoll Resear
Add addressable duress alarms to each classroom space/
front desk/guard shack Researching
Add lockdown speaker to guard shack Researching

Potential Future projects:

Gender neutral bathrooms
Entry rocks to block access to campus
Finish classroom furniture overhaul
Permanent outdoor eating pavilions
Renovate music rooms to meet current and future programming needs
Renovate science rooms to meet current and future programming needs

20. Counting Sean, how many employees make up the in-house maintenance staff? 2

21. There is a dilapidated wire fence along the western edge of the site adjacent to the deactivated railroad tracks (see photo below). Who has financial responsibility for that fence? **Unknown**



Questions.02 for SCDS, Santa Rosa, CA

1. Is the unenclosed stair at the Gym's lobby going to also be repainted later in 2022?

Yes, that is in the plans

2. Can you send the invoice for the asphalt resealing and restriping done in September 2020?

Let me know if this works:

Hi Alison,

Here is the proposal for the maintenance work we looked at yesterday. Please let me know if you have any questions.

Please click the following link: [REFB/Sonoma Country Day School](#) to view/print/save your proposal.

3. Do you typically budget funds for periodic maintenance work on the gravel paved overflow parking lot?

No, not a special budget amount – we go out and repair potholes every few years, rent a compactor, get a load of road base, and that all comes from our repair and maintenance budget If yes, what is your annual budget amount?

4. Do the elevator and stage lift both date to original construction? yes

5. There's a window in the kitchen with a counter on the exterior side of the building (facing a courtyard-like area). Is that window/counter (still) used to serve food to students? No, that counter has never been used, as it is impractical with a 30" counter behind the window to try and serve lunch through the window. Perhaps a good idea at the time, but Allwest identified it as non ADA conforming at the time of the last report.

6. In your list of proposed capital expenses, you mentioned under Sound Mitigation For Gallery: "Build wall between E3 and E4". Are E3 and E4 in the Main Bldg or Gym? E3 and E4 are two classrooms with an openable 'accordion' wall between the two rooms to make a potentially big space. There was a request quite a while ago to build an insulated permanent wall between those spaces because of sound issues, but due to change in personnel, the urgency of that change has faded.

7. In your response to question no. 19 of the previous set of questions you wrote:

Painting Main gym, foyer, restrooms and hall = 100,000 GYM

Lower School hallway and restrooms = 20,000 Main

Upper School hallway and restrooms = 20,000 Main

Are the Upper School and Lower School areas mentioned above in the Main Bldg or the Gym?

SCDS, Santa Rosa CA

Please return by:

ASAP

General Information									
Property Name	Sonoma Country Day School								
Property Owner	Sonoma Country Day School								
Address	4400 Day School Place								
City, State, Zip	Santa Rosa CA 95403								
Site Contact	Sean McFarland								
Building Information									
Construction Date	Main Bldg: 1999; Gym: 2000								
Building sq ft	Main Bldg: 54,063 SF			Gym: 22,838 SF					
Service Providers									
Maintenance:									
Fire Sprinkler Inspection					Contact Number:				
Company Name:					Address:				
Fire Alarm Monitoring					Contact Number:				
Company Name:					Address:				
HVAC					Contact Number:				
Company Name:					Address:				
Roof Maintenance					Contact Number:				
Company Name:									
Utilities:							YES	NO	
Electrical	Sonoma Clean Power / PG&E / Solarcity array					Adequate?	☐	☐	
Gas	PG&E					Adequate?	☐	☐	
Water	Town of Windsor					Adequate?	☐	☐	
Sewer	Sonoma County Water Agency					Adequate?	☐	☐	
Property Condition									
Site:									
Asphalt sealing	Year replaced:				Cost:				
Irrigation System	Yes	No							
Building Envelope:									
Roof Type:	Year replaced:				Cost:	Current leaks?	☐	☐	
	YES	NO							
Structural (cracks, settlement)	☐	☐						☐	☐
Seismic Retrofit:	☐	☐	Year:					☐	☐
shear walls	☐	☐	shear frames	Yes	No	Plywood sheathing	☐	☐	
Mechanical Systems:									
HVAC Equipment List	Yes	No	Have list from 2015 PCA					☐	☐
Equipment Age	On list								
Known Deficiencies (For example: water infiltration, plumbing system, sewer line leaks or blockages, sewer line replacements, HVAC, electrical deficiencies, deferred maintenance, leaks though window or wall systems). Please list known deficiencies below (insert new lines if needed):									
Recent major replacement costs:									
Documentation									
Lists/Reports:	YES	NO				YES	NO		
Previous Property Reports	☐	☐	I have 2015 PCA						
Brochures	☐	☐	PDF?	☐	☐	Attached			
Warrantees	☐	☐	PDF?	☐	☐	Attached			
Rent Roll	☐	☐	PDF?	☐	☐	Attached			
Testing Reports:	YES	NO							
Backflow Preventer	☐	☐				YES	NO		
Fire Sprinkler	1 Year	☐	☐	5 year	☐	☐			
Fire Alarm	☐	☐							
Elevator	Current license expiration date:				5 year load test date:			YES	NO
Drawings:	YES	NO				YES	NO		
ALTA survey	☐	☐	PDF?	☐	☐	Attached	☐	☐	
Original Construction Docs	☐	☐	I have dwgs for both bldgs.						
Site Plan	☐	☐	I have a site plan.						
Tenant Improvement Docs	☐	☐	PDF?	☐	☐	Attached	☐	☐	

Prepared By:	Date:	Contact #
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APPENDIX C

Packaged gas-fired heating & air cooling	AC-27	Carrier R-410A	48TCED14A2A6A0A0G0 0822P34571	12 224,000 IN/184,000 OUT	N	2022	0	20	20	
Packaged gas-fired heating & air cooling	AC-28*	Carrier N/A	N/A N/A	7 N/A	N	2022	0	20	20	
Packaged gas-fired heating & air cooling	AC-29	Carrier R-410A	48FCLA05A2A6A0A0A0 0422C07185	4 60,000 IN/49,000 OUT	N	2022	0	20	20	
Packaged gas-fired heating & air cooling	AC-30	Carrier R-410A	48TCDD08A2A6A0A0G0 1022P35503	7 125,000 IN/100,000 OUT	N	2022	0	20	20	
Packaged gas-fired heating & air cooling	AC-31	Carrier R-410A	48FCDM07A2A6A0A0A0 0322C08859	6 67,000 IN/54,000 OUT	N	2022	0	20	20	
Packaged gas-fired heating & air cooling	AC-32	Carrier R-410A	48FCEA04A2A6A0A0A0 0622C09039	3 110,000 IN/88,000 OUT	N	2022	0	20	20	
Total Cooling Capacity					177 TONS					* Did not observe unit. Unit size based upon design drawings.
SPLIT-SYSTEM AIR CONDITIONER										
Equipment	Mark	Brand/ Refrig	Model/Serial Number	Cooling / Heating Size	Replace	Manf	Age	EUL	RUL	
Split-system air conditioner		Carrier	38AUZD08A0A6B0A0A0	7	N	2021	1	20	19	
		R-410A	0321C91274							
Split-system air conditioner		Carrier	24ABB348A610	4	N	2021	1	20	19	
		R-410A	3721E19612							
Split-system air conditioner		Carrier	24ABB348A610	4	N	2021	1	20	19	
		R-410A	3721E19599							
Split-system air conditioner		Carrier	24ABB348A610	4	N	2021	1	20	19	
		R-410A	3721E19620							
Total Cooling Capacity					19 TONS					
CHILLERS, BOILERS										
Equipment	Mark	Brand/ Refrig	Model/Serial Number	Cooling / Heating Size	Replace	Manf	Age	EUL	RUL	
Air cooled chiller		Carrier	30GXR135-A-6---ZH	125	Y	2001	21	25	4	
		R-134a	2101F85935							
Natural gas boiler		Laars	PH1200EN09	1,200,000 IN/984,000 OUT	Y	2002	20	25	5	
		—	C02E04383							
Total Cooling Capacity					125 TONS					

APPENDIX D



APPLICATION FOR AUTHORIZATION TO USE

REPORT TITLE: **PROPERTY CONDITION ASSESSMENT**

4400 Day School Place
Santa Rosa, CA 95403

PROJECT NUMBER: 22088.60

To: AllWest Environmental, Inc.
2141 Mission Street, Suite 100
San Francisco, CA 94110

From (Applicant):

(Please clearly identify name and address of person/entity applying for permission to use or copy this document)

Ladies and Gentlemen:

Applicant states they have thoroughly reviewed the report and had the opportunity to discuss with AllWest the report's methodology, findings and conclusion(s).

Applicant hereby applies for permission to rely upon AllWest's work product, as described above, for the purpose of (state here the purpose for which you wish to rely upon the work product):

Applicant only can accept and rely upon AllWest work product under the strict understanding that Applicant is bound by all provisions in the General Conditions to the Work Authorization Agreement provided below. Every report, recommendation, finding, or conclusion issued by AllWest shall be subject to the limitations stated in the Agreement and subject report(s). If this is agreeable, please sign below and return one copy of this letter to us along with the applicable fees. Upon receipt and if acceptable, our signed letter will be returned. AllWest may withhold permission at its sole discretion or require additional re-use fees or terms.

FEES: A \$1,950 coordination and reliance fee, payable in advance, will apply. If desired, for an additional \$250 report reproduction fee, we will reissue the report in the name of the Applicant; the report date, however, will remain the same. All checks will be returned if your request for reliance is not approved.

REQUESTED BY

APPROVED BY

Applicant Company

AllWest Environmental, Inc.

Print Name and Title

Print Name and Title

Signature and Date

Signature and Date

GENERAL CONDITIONS TO THE WORK AUTHORIZATION AGREEMENT

It is hereby agreed that the Client retains AllWest to provide services as set forth in the Work Authorization attached hereto (the "Work"). This contract shall be controlled by the following terms and conditions, and these terms and conditions shall also control any further assignments performed pursuant to this Work Authorization. Client's signature on this Work Authorization constitutes Client's agreement to the all terms to this contract, including these General Conditions.

FEES AND COSTS

1. AllWest shall charge for work performed by its personnel at the rates identified in the Work Authorization. These rates are subject to reasonable increases by AllWest upon giving Client 30 days advance notice. Reimbursable Costs will be charged to the Client in addition to the fees for the basic services under this Agreement and all Additional Services (defined below) under the Agreement. Reimbursable Costs include, but are not limited to, expenses for travel, including transportation, meals, lodging, long distance telephone and other related expenses, as well as the costs of reproduction of all drawings for the Client's use, costs for specifications and type-written reports, permit and approval fees, automobile travel reimbursement, costs and fees of subcontractors, and soil and other materials testing. No overtime is accrued for time spent in travel. All costs incurred which relate to the services or materials provided by a contractor or subcontractor to AllWest shall be invoiced by AllWest on the basis of cost plus twenty percent (20%). Automobile travel reimbursement shall be at the rate of fifty- eight cents (\$0.58) per mile. All other reimbursable costs shall be invoiced and billed by AllWest at the rate of 1.1 times the direct cost to AllWest. Reimbursable costs will be charged to the client only as outlined in the Work Authorization if the scope of work is for Phase I Environmental Site Assessment, Property Condition Assessment, Seismic Assessment or ALTA survey. Invoices for work performed shall be submitted monthly. Payment will be due upon receipt of invoice. Client shall pay interest on the balance of unpaid invoices which are overdue by more than 30 days, at a rate of 18% per annum as well as all attorney fees and costs incurred by AllWest to secure payment of unpaid invoices. AllWest may waive such fees at its sole discretion.

STANDARD OF CARE

2. AllWest will perform its work in accordance with the standard of care of its industry, as it is at the time of the work being performed, and applicable in the locale of the work being performed. AllWest makes no other warranties, express or implied regarding its work.

LIMITATION OF REMEDIES

3. Client expressly agrees that to the fullest extent permitted by law, Client's remedies for any liability incurred by AllWest, and/or its employees or agents, for any and all claims arising from AllWest's services, shall be \$50,000 or its fees, whichever is greater.

Client may request a higher limitation of remedies, but must do so in writing. Upon such written request, AllWest may agree to increase this limit in exchange for a mutually negotiated higher fee commensurate with the increased risk to AllWest. Any such agreed increase in fee and limitation of remedies amount must be memorialized by written agreement which expressly amends the terms of this clause.

As used in this section, the term "limitation of remedies" shall apply to claims of any kind, including, but not limited to, claims brought in contract, tort, strict liability, or otherwise, for any and all injuries, claims, losses, expenses, or damages whatsoever arising out of or in any way related to AllWest's services or the services of AllWest's subcontractors, consultants, agents, officers, directors, and employees from any cause(s). AllWest shall not be liable for any claims of loss of profits or any other indirect, incidental, or consequential damages of any nature whatsoever. Client & AllWest have specifically negotiated this limitation.

INDEMNIFICATION

4. Notwithstanding any other provision of this Agreement, Client agrees, to the fullest extent permitted by law, to waive any claim against, release from any liability or responsibility for, and indemnify and hold harmless AllWest, its employees, agents and sub-consultants (collectively, Consultant) from and against any and all damages, liabilities, claims, actions or costs of any kind, including reasonable attorney's fees and defense costs, arising or alleged to arise out of or to be in any way connected with the Project or the performance or non-performance of Consultant of any services under this Agreement, except to the extent any such liabilities are determined by a court or other forum of competent jurisdiction to have been caused by the negligence or willful misconduct of Consultant.

Client further agrees to indemnify Consultant for any liability Consultant suffers to a third person to the extent that liability exceeds the limitation of liability amounts stated in Limitation of Remedies paragraph. This provision shall be in addition to any rights of indemnity Consultant may have under the law and shall survive and remain in effect following the termination of this Agreement for any reason. Should any part of this provision be determined to be unenforceable, AllWest and Client agree the rest of the provision shall apply to the maximum extent permitted by law. The Client's duty to defend AllWest shall arise immediately upon tender of any matter potentially covered by the above obligations to indemnify and hold harmless.

AllWest agrees to indemnify and hold harmless CLIENT, its officers, directors, partners, employees, and any other entity or person for which AllWest is legally liable, from and against any damages, losses, liabilities, judgments, settlements, expenses, and costs (including reasonable attorneys' fees, costs and expenses recoverable under applicable law), that CLIENT incurs from claims by third parties, to the extent caused by negligent acts, errors or omissions or willful misconduct of AllWest in the performance of professional services under this Agreement and any other entity or person for which AllWest is legally liable.

Notwithstanding the foregoing, if AllWest's obligation to defend, indemnify, and/or hold harmless arises out of AllWest's performance of "design professional" services (as that term is defined under California Civil Code Section 2782.8), AllWest's obligations shall be as stated in California Civil Code Section 2782.8, which is fully incorporated herein as it was in effect as of the date of this Agreement. AllWest's indemnification obligation shall be limited to claims to the extent caused by the negligence, recklessness, or willful misconduct of AllWest, and, upon AllWest obtaining a final adjudication by a court of competent jurisdiction, AllWest's liability for such claim, including the cost to defend, shall not exceed AllWest's proportionate percentage of fault. AllWest is not obligated to indemnify and hold harmless CLIENT for CLIENT'S active or sole negligence, or willful misconduct.

MEDIATION & JUDICIAL REFERENCE

5. In an effort to resolve any conflicts or disputes that arise regarding the performance of this agreement, the Client & AllWest agree that all such disputes shall be submitted to non-binding mediation, using a mutually agreed upon mediation service experienced in the resolution of construction disputes. Unless the parties mutually agree otherwise, such mediation shall be a condition precedent to the initiation of any other adjudicative proceedings. It is further agreed that any dispute that is not settled pursuant to such mediation shall be adjudicated by a court appointed referee in accordance with the Judicial Reference procedures as set forth in California Code of Civil Procedure Section 638 et seq. The parties hereby mutually agree to waive any right to a trial by jury regarding any dispute arising out of this agreement.

The parties further agree to include a similar mediation, Judicial Reference & waiver of jury trial provision in their agreements with other independent contractors & consultants retained for the project and require them to similarly agree to these dispute resolution procedures. The cost of said Mediation shall be split equally between the parties. This agreement to mediate shall be specifically enforceable under the prevailing law of the jurisdiction in which this agreement was signed.

HAZARDOUS WASTE

6. Client acknowledges that AllWest and its sub-contractors have played no part in the creation of any hazardous waste, pollution sources, nuisance, or chemical or industrial disposal problem, which may exist, and that AllWest has been retained for the sole purpose of performing the services set out in the scope of work within this Agreement, which may include, but is not necessarily limited to such services as assisting the Client in assessing any problem which may exist and in assisting the Client in formulating a remedial program. Client acknowledges that while necessary for investigations, commonly used exploration methods employed by AllWest may penetrate through contaminated materials and serve as a connecting passageway between the contaminated material and an uncontaminated aquifer or groundwater, possibly inducing cross contamination. While back-filling with grout or other means, according to a state of practice design is intended to provide a seal against such passageway, it is recognized that such a seal may be imperfect and that there is an inherent risk in drilling borings of performing other exploration methods in a hazardous waste site.

AllWest will not sign or execute hazardous waste manifests or other waste tracking documents on behalf of Client unless Client specifically establishes AllWest as an express agent of Client under a written agency agreement approved by AllWest. In addition, Client agrees that AllWest shall not be required to sign any documents, no matter requested by whom, that would have the effect of AllWest providing any form of certification, guarantee, or warranty as to any matter or to opine on conditions for which the existence AllWest cannot ascertain. Client also agrees that it shall never seek or otherwise attempt to have AllWest provide any form of such certification, guarantee or warranty in exchange for resolution of any disputes between Client and AllWest, or as a condition precedent to making payment to AllWest for fees and costs owing under this Agreement.

Client understands and agrees that AllWest is not, and has no responsibility as, a generator, operator, treater, storer, transporter, arranger or disposer of hazardous or toxic substances found or identified at the site, including investigation-derived waste. The Client shall undertake and arrange for the removal, treatment, storage, disposal and/or treatment of hazardous material and investigation derived waste (such as drill cuttings) and further, assumes full responsibility for such wastes to the complete exclusion of any responsibility, duty or obligation upon AllWest. AllWest's responsibilities shall be limited to recommendations regarding such matters and assistance with appropriate arrangements if authorized by Client.

FORCE MAJUERE

7. Neither party shall be responsible for damages or delays in performance under this Agreement caused by acts of God, strikes, lockouts, accidents or other events or condition (other than financial inability) beyond the other Party's reasonable control.

TERMINATION

8. This Agreement may be terminated by either party upon ten (10) days' written notice should the other party substantially fail to perform in accordance with its duties and responsibilities as set forth in this Agreement and such failure to perform is through no fault of the party initiating the termination. Client agrees that if it chooses to terminate AllWest for convenience, and AllWest has otherwise satisfactorily performed its obligations under this Agreement to that point, AllWest shall be paid no less than eighty percent (80%) of the contract price, provided, however, that if AllWest shall have completed more than eighty percent of the Work at the time of said termination, AllWest shall be compensated as provided in the Work Authorization for all services performed prior to the termination date which fall within the scope of work described in the Work Authorization and may as well, at its sole discretion and in accordance with said Schedule of Fees, charge Client, and Client agrees to pay AllWest's reasonable costs and labor in winding up its files and removing equipment and other materials from the Project.

Upon notice of termination by Client to AllWest, AllWest may issue notice of such termination to other consultants, contractors, subcontractors and to governing agencies having jurisdiction over the Project, and take such other actions as are reasonably necessary in order to give notice that AllWest is no longer associated with the Project and to protect AllWest from claims of liability from the work of others.

DOCUMENTS

9. Any documents prepared by AllWest, including, but not limited to proposals, project specifications, drawings, calculations, plans and maps, and any ideas and designs incorporated therein, as well as any reproduction of the above are instruments of service and shall remain the property of AllWest and AllWest retains copyrights to these instruments of service. AllWest grants to Client a non-exclusive license to use these instruments of service for the purpose of completing and maintaining the Project. The Client shall be permitted to retain a copy of any instruments of service, but Client expressly agrees and acknowledges that the instruments of service may not be used by the Client on other projects, or for any other purpose, except the project for which they were prepared, unless Client first obtains a written agreement expanding the license to such use from AllWest, and with appropriate compensation to AllWest. Client further agrees that such instruments of service shall not be provided to any third parties without the express written permission of AllWest.

Client shall furnish, or cause to be furnished to AllWest all documents and information known to Client that relate to the identity, location, quantity, nature, or characteristics of any asbestos, PCBs, or any other hazardous materials or waste at, on or under the site. In addition, Client will furnish or

cause to be furnished such reports, data, studies, plans, specifications, documents and other information on surface or subsurface site conditions, e.g., underground tanks, pipelines and buried utilities, required by AllWest for proper performance of its services. If Client fails to provide AllWest with all hazardous material subject matter reports including geotechnical assessments in its possession during the period that AllWest is actively providing its services (including up to 30 days after its final invoice), Client shall release AllWest from any and all liability for risks and damages the Client incurs resulting from its reliance on AllWest's professional opinion. AllWest shall be entitled to rely upon Client - provided documents and information in performing the services required in this Agreement; however, AllWest assumes no responsibility or liability for the accuracy or completeness of Client-provided documents. Client-provided documents will remain the property of the Client.

ACCESS TO PROJECT

10. Client grants to AllWest the right of access and entry to the Project at all times necessary for AllWest to perform the Work. If Client is not the owner of the Project, then Client represents that Client has full authority to grant access and right of entry to AllWest for the purpose of AllWest's performance of the Work. This right of access and entry extends fully to any agents, employees, contractors or subcontractors of AllWest upon reasonable proof of association with AllWest. Client's failure to provide such timely access and permission shall constitute a material breach of this Agreement excusing AllWest from performance of its duties under this Agreement.

CONFIDENTIAL INFORMATION

11. Both Client and AllWest understand that in conjunction with AllWest's performance of the Work on the project, both Client and AllWest may receive or be exposed to Proprietary Information of the other. As used herein, the term "Proprietary Information" refers to any and all information of a confidential, proprietary or secret nature which may be either applicable to, or relate in any way to: (a) the personal, financial or other affairs of the business of each of the Parties, or (b) the research and development or investigations of each of the Parties. Proprietary Information includes, for example and without limitation, trade secrets, processes, formulas, data, know-how, improvements, inventions, techniques, software technical data, developments, research projects, plans for future development, marketing plans and strategies. Each of the Parties agrees that all Proprietary Information of the other party is and shall remain exclusively the property of that other party. The parties further acknowledge that the Proprietary Information of the other party is a special, valuable and unique asset of that party, and each of the Parties agrees that at all times during the terms of this Agreement and thereafter to keep in confidence and trust all Proprietary Information of the other party, whether such Proprietary Information was obtained or developed by the other party before, during or after the term of this Agreement. Each of the Parties agrees not to sell, distribute, disclose or use in any other unauthorized manner the Proprietary Information of the other party. AllWest further agrees that it will not sell, distribute or disclose information or the results of any testing obtained by AllWest during the performance of the Work without the prior written approval of Client unless required to do so by federal, state or local statute, ordinance or regulation.

INDEPENDENT CONTRACTOR

12. Both Client and AllWest agree that AllWest is an independent contractor in the performance of the Work under this Agreement. All persons or parties employed by AllWest in connection with the Work are the agents, employees or subcontractors of AllWest and not of Client. Accordingly, AllWest shall be responsible for payment of all taxes arising out of AllWest's activities in performing the Work under this Agreement.

ENTIRE AGREEMENT

13. This Agreement contains the entire agreement between the Parties pertaining to the subject matter contained in it and supersedes and replaces in its entirety all prior and contemporaneous proposals, agreements, representations and understandings of the Parties. The Parties have carefully read and understand the contents of this Agreement and sign their names to the same as their own free act.

INTEGRATION

14. This is a fully integrated Agreement. The terms of this Agreement may be modified only by a writing signed by both Parties. The terms of this Agreement were fully negotiated by the Parties and shall not be construed for or against the Client or AllWest but shall be interpreted in accordance with the general meaning of the language in an effort to reach the intended result.

MODIFICATION / WAIVER / PARTIAL INVALIDITY

15. Failure on the part of either party to complain of any act or omission of the other, or to declare the other party in default, shall not constitute a waiver by such party of its rights hereunder. If any provision of this Agreement or its application be unenforceable to any extent, the Parties agree that the remainder of this Agreement shall not be affected and shall be enforced to the greatest extent permitted by law.

INUREMENT / TITLES

16. Subject to any restrictions on transfers, assignments and encumbrances set forth herein, this Agreement shall inure to the benefit of and be binding upon the undersigned Parties and their respective heirs, executors, legal representatives, successors and assigns. Paragraph titles or captions contained in this Agreement are inserted only as a matter of convenience, and for reference only, and in no way limit, define or extend the provisions of any paragraph. , et al., incurred in that action or proceeding, in addition to any other relief to which it or they may be entitled.

AUTHORITY

17. Each of the persons executing this Agreement on behalf of a corporation does hereby covenant and warrant that the corporation is duly authorized and existing under the laws of its respective state of incorporation, that the corporation has and is qualified to do business in its respective state of incorporation, that the corporation has the full right and authority to enter into this Agreement, and that each person signing on behalf of the corporation is authorized to do so. If the Client is a joint venture, limited liability company or a partnership, the signatories below warrant that said entity is properly

and duly organized and existing under the laws of the state of its formation and pursuant to the organizational and operating document of the entity, and the laws of the state of its formation, said signatory has authority act on behalf of and commit the entity to this Agreement.

COUNTERPARTS

18. This Agreement may be signed in counterparts by each of the Parties hereto and, taken together, the signed counterparts shall constitute a single document.

THIRD PARTY BENEFICIARIES / CONTROLLING LAW

19. There are no intended third party beneficiaries of this Agreement. The services, data & opinions expressed by AllWest are for the sole use of the client, are for a particular project and may not be relied upon by anyone other than the client. This Agreement shall be controlled by the laws of the State of California and any action by either party to enforce this Agreement shall be brought in San Francisco County, California.

TIME BAR TO LEGAL ACTION

20. Any legal actions by either party against the other related to this Agreement, shall be barred after one year has passed from the time the claimant knew or should have known of its claim, and under no circumstances shall be initiated after two years have passed from the date by which AllWest completes its services.