

AllWest Environmental

PROPERTY CONDITION ASSESSMENT

**Our Lady of Loretto Church & School, 1806 Novato Boulevard
Novato, CA 94947**

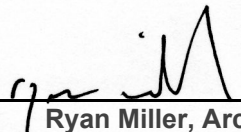


PREPARED FOR:

**Our Lady of Loretto Church
1806 Novato Boulevard
Novato, California 94947**

**ALLWEST PROJECT 23017.60
February 27, 2023**

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PROPERTY CONDITION ASSESSMENT

**Our Lady of Loretto Church & School, 1806 Novato Boulevard
Novato, CA 94947**

I. EXECUTIVE SUMMARY

AllWest has completed a Property Condition Assessment of the above referenced site in accordance with ASTM E2018-15. On February 13, 2023, we visited the property and observed the condition of the structures, interior areas, and exterior improvements. Heidi Garzo, the parish manager at the property, provided access to the property during our site visit.

This Property Condition Assessment was conducted on behalf of Our Lady of Loretto Church in support of their capital improvement of the planning process.

During the preparation of this report, research was conducted with the Novato Fire, Building and Planning Departments to obtain permit information and information concerning any active complaints, actions, or violations at the subject property.

This Executive Summary is provided solely for the purpose of overview. Any party who relies on this report must read the full report. The Executive Summary may have omitted important details, any one of which could be crucial to the proper understanding of subject matter risk assessment.

The purpose of this report is to inform the reader of the existing condition of the civil, architectural, and landscape components, as well as the mechanical, electrical, and plumbing (MEP), and the fire and life safety (FLS) equipment that comprise the property. The report also identifies what conditions, if any, should be corrected to improve building systems, appearance, and performance over the next five years.

A. PROPERTY DESCRIPTION

The Our Lady of Loretto Church and School (OLL) are located on two legal parcels in Marin County. The property is developed as a Roman Catholic parish church, along with a coeducational school

serving grades K through 8 and a convent, though the convent is no longer used for residential purposes. The property is developed with five primary structures and also contains two modular buildings, a detached, 3-car garage, and a freestanding bell tower. Total floor area is 51,185 square feet (sq ft). Our building naming convention is in bold text below; the year of original construction—when available—was obtained from the websites for the church and the school. The relative locations of the buildings on the site, number of stories, and approximate floor areas appear in parentheses, as follows:

Church: 1963 (Southeast corner of site: one story—double volume height: 10,630 sq ft);

Rectory: 1963 (West of Church: two stories: 6,280 sq ft);

Hall Bldg: 1958† (Northeast corner of site: one story—double volume height in basketball court/assembly area: 7,840 sq ft);

School: 1958 (West of Hall Bldg: one story: 15,335 sq ft);

Convent: 1958† (Northwest corner of site: two stories: 8,060 sq ft);

Mod Bldg N: 1993‡ (South of Convent: one story: 960 sq ft);

Mod Bldg S: 1993‡ (South of Mod Bldg N: one story: 960 sq ft);

Garage: 1963† (North of Rectory; one story, 1,120 sq ft);

Bell Tower: 1963† (Between Church and Rectory; 81 sq ft, non-habitable space¶).

† Year of construction presumed.

‡ Historical satellite photos indicate the modular buildings were in place as early as 1993.

¶ As non-habitable space, the floor area of the Bell Tower is not included as part of the 51,185 sq ft of combined, total floor area.

The property is comprised of two parcels which contain a total of 5.81 acres. The north parcel is L-shaped (3.92 acres); the south parcel is rectangular (1.89 acres). The site has a City of Novato zoning designation of R5-4.5.

The likely occupancy classifications are:

Group A-3: (Assembly—Religious facility);

Group E: (Educational);

Group R-2: (Residential—Rectory);

Group B: (Business – offices).

For all buildings, the likely construction is Type V-B, non-fire resistive rated. Fire sprinkler systems are not installed in any building.

The site is bound by Virginia Avenue to the north, Grant Avenue to the east, Novato Boulevard to the south, and an adjacent developed parcel to the west. There is 600 feet of street frontage along both Virginia Avenue and Novato Boulevard, with 400 feet of frontage along Grant Avenue. The site is located 1.25 miles west of Highway 101, five miles west of San Pablo Bay, and directly north of Novato Boulevard. The property is accessed by three curb cuts along Virginia Avenue and one each on Grant Avenue and Novato Boulevard. Those elevations closest and approximately parallel to Novato Boulevard are the south elevations.

The property is located in a mixed-use district with single- and multi-family residential and low-rise office buildings in the near vicinity. The site has a small change in elevation of four feet with the slope descending from south-southeast to north-northwest. The site does not appear to be located on artificial fill, though it is in a United States Geological Survey (USGS) moderate liquefaction zone.

The site improvements appeared in “Good” to “Poor” condition. There are 143 delineated surface parking spaces, of which nine are Accessible. The delineated parking is presumably compliant with the requirements of the Novato Municipal Code for off-street parking in effect at the time of original construction.

The landscaping appears generally in “Good” condition, and includes mature trees, shrubs, grass lawns, ground cover, and flowering plants; wood chips are provided in some areas as a substitute for

ground cover plantings. An automatic irrigation system with multiple programmable controllers provides water through an underground distribution system and end devices.

The building structural systems appeared in generally “Good” condition; structural elements were rarely visible, and, when visible, only in very limited viewing areas. The five primary buildings likely have the following structural characteristics:

Church: Conventional Type V-B wood roof and wall framing with tapered glulam arches at the central double volume space;

Hall Bldg: 1958: Conventional Type V-B wood roof and wall framing with tapered glulam arches at the central double volume space;

School: Conventional Type V-B wood roof and wall framing;

Rectory: Conventional Type V-B wood roof, intermediate floor, and wall framing;

Convent: Conventional Type V-B wood roof, intermediate floor, and wall framing.

Plywood or diagonal board sheathing is presumably provided at roofs and intermediate floor decks. The Church, Rectory, and Hall Bldg have crawlspaces below the first floor; the foundations presumably consist of shallow, reinforced concrete strip footings under the perimeter walls and spread footings below the first-floors’ post and beam wood framing. The Convent and School have concrete slab-on-grade foundations, likely with shallow, reinforced concrete strip footings at the perimeter.

The Bell Tower and the Garage also have conventional Type V-B wood framing structural elements and are founded on concrete slabs-on-grade. The Mod Bldgs have conventional Type V-B wood framing, AllWest was unable to observe the foundations below the crawlspaces.

The exterior envelopes appeared in “Good” to “Poor” condition. The installed roofing systems on the five primary buildings, with physical condition in parentheses, are:

Church: Pitched roofs with tan asphalt composite shingles (Fair);

Hall Bldg: Pitched roofs with tan asphalt composite shingles (Fair);

School: Flat roof with minimal slopes with a modified bitumen (MB) system and pea gravel ballast (Fair to Poor);

Rectory: Low pitched roofs with an MB system with white gravel ballast (Fair to Poor);

Convent: Low pitched roofs with an MB system with white gravel ballast (Fair to Poor).

Mod Bldg S has a ribbed galvanized steel panel roofing systems. The Garage and Mod Bldg N have asphalt composite shingle roofing systems. The roof of the Bell Tower was not visible; satellite photos indicate that some sort of white-colored roofing system is installed.

The ages of the roofing systems are unknown. No current, known leaks were reported, though three recent leaks were repaired in January 2023. Five building permits for new roofing systems were issued in 2000, but all show to be either inactive or expired. Another voided permit for reroofing was issued in 2005. None of these permits were ever finalized.

The façades of the five primary buildings have the following exterior finishes:

Church: Painted concrete stucco;

Hall Bldg: Painted concrete stucco;

School: Painted wood siding with a vertical orientation;

Rectory: Painted wood siding with a vertical orientation and painted stucco;

Convent: Painted wood siding with a vertical orientation and painted stucco.

The modular building exteriors are finished with painted wood siding as is the Garage. The Bell Tower has painted stucco exterior finishes. All exterior paint finishes appeared in generally "Good" condition.

Building interior finishes appeared in generally "Good" condition. The most common floor finishes are broadloom carpet, carpet squares, vinyl composite tile (VCT), vinyl laminate plank flooring, hardwood plank flooring, and ceramic tiles. Walls are typically painted gypsum board. Painted gypsum board ceilings are typically installed as well as suspended acoustical ceiling tile systems. Some classrooms and offices have adhesive-applied acoustic ceiling tile systems. Unpainted wood plank ceilings are also installed in the Church. Restroom finishes are painted gypsum board ceilings and walls, with ceramic tile and sheet vinyl flooring installed.

The MEP and FLS systems appeared in generally "Good" to "Fair" condition; some older HVAC equipment, likely dating to original construction, is installed. The Rectory is the only building provided with air conditioning; all other buildings have heat only. Cooling and heating for the Rectory is provided by three grade-mounted split-system heat pumps; one window unit air conditioner also provides cooled air. A hot water boiler and hydronic loop system, likely dating to 1963, is also installed for space heating, but its operation was reported as problematic. A hot water boiler and hydronic loop system is installed in the Convent. Natural gas-fired furnaces provide heat in the Church, Hall Bldg, and the School. Electric furnaces provide heat at both Mod Bldgs. Exhaust air requirements are handled by roof-mounted exhaust fans, where provided. Most restrooms and bathrooms we observed lack exhaust fans and rely on windows for air circulation.

A utility owned transformer provides power to the 240/120-volt, single-phase, primary switchgear, located within an exterior enclosure near the southeast corner of the Convent. Each primary building has its own main entrance service panel, with panel ratings ranging from 100 amps to 225 amps. Copper wire-in-conduit runs serve electrical distribution needs.

Domestic and irrigation water is provided by the North Marin Water District from the municipal mains beneath the three streets that bound the property.

Fire sprinkler systems are not installed in any building. Only the Convent is provided with a fire alarm system with a digital communicator panel monitoring fire alarm devices.

A few keypad locks at building entrances and several video camera mounted on exterior walls are provided as the security system for the property.

Dumbwaiters were installed in the Rectory and the Convent, but they have been taken out of service.

Disabled Accessibility appeared in generally "Poor" condition; numerous deficiencies were observed.

For a parking facility with 143 stalls, the California Building Code (CBC) requires five Accessible stalls, one of which must be Van Accessible. Two Van Accessible stalls and seven regular Accessible stalls are provided; this configuration meets current CBC requirements.

Path of travel and door thresholds and hardware generally appear largely non-compliant with current Accessibility code requirements, as do some interior dimensions and the overwhelming majority of restrooms.

B. SUMMARY OF FINDINGS

The following recommendations address deficiencies requiring remedial measures.

Code/Life Safety & Immediate Needs Repairs

- Install GFCI receptacles in all required locations, where not already provided;
- Church: Install cover plate inside electrical sub-panel;
- Church, Convent, Hall, and Rectory: Install flexible gas line connection on boilers and furnaces;
- Church, Convent, Hall, School and Rectory: Install automatic seismic shutoff valves on gas service lines.

Capital Expenditure

- Provide remedial measures to return all landscaping elements to "Good" condition;
- Provide remedial measures to return concrete sitework to "Good" condition;
- Perform minor and full-depth repairs to address degraded surface condition of asphalt paving to return it to "Good" condition;
- Reseal all asphalt paved parking areas and drive aisles;
- Restripe all non-Accessible parking stalls;
- Conduct civil engineering investigation to evaluate parking lot drainage issue;
- All buildings: Provide complete, tear-off roofing systems;
- Replace degraded exterior doors, where needed;
- Annual allowance to provide renewal of interior floor, wall, and ceiling finishes;
- Rectory and Convent: Replace natural gas-fired boilers;
- Rectory: Conduct evaluation of hydronic loop heating system;
- All Buildings: Conduct infrared scanning of the electrical distribution systems on a triennial schedule;

- Hall Bldg: Replace 50-gallon natural gas-fired water heater;
- Church and Mod Bldg N: Replace 20-gallon electric water heaters;
- Restripe all Accessible parking stalls and access aisles;
- Provide required Accessibility signage for parking;
- Provide upgrades to improve overall exterior and interior path of travel elements and to restrooms and plumbing fixtures to achieve a higher level of Accessibility compliance than currently exists.

Modernization/Improvement

Items in this category are not mandatory or essential but are recommendations for general improvements and modernization to bring the property up to current standards or best practices.

- Provide remedial measures to return chain-link fencing to "Good" condition;
- Hall Bldg: Replace two natural gas-fired furnaces;
- Convent: Provide a new fire alarm communicator panel.

C. IMMEDIATE REPAIRS & REPLACEMENT RESERVES

Immediate Needs

Immediate Needs are defined as physical deficiencies that require immediate action to correct (1) existing or potentially unsafe conditions; (2) significant negative conditions impacting marketability or habitability; (3) material building code violations; (4) poor or deteriorated condition of critical element or system; or (5) a condition that if left "as is" would cause or contribute to critical element or system failure within one year or a significant escalation in repair costs.

Immediate repair needs as indicated in the Immediate Needs & Replacement Reserves Analysis are **\$4,600**. Expenditures include the installation of: automatic seismic shutoff valves on gas service lines; flexible connections on gas lines at furnaces and boilers; and GFCI receptacles, where required and not already installed.

Novato, CA

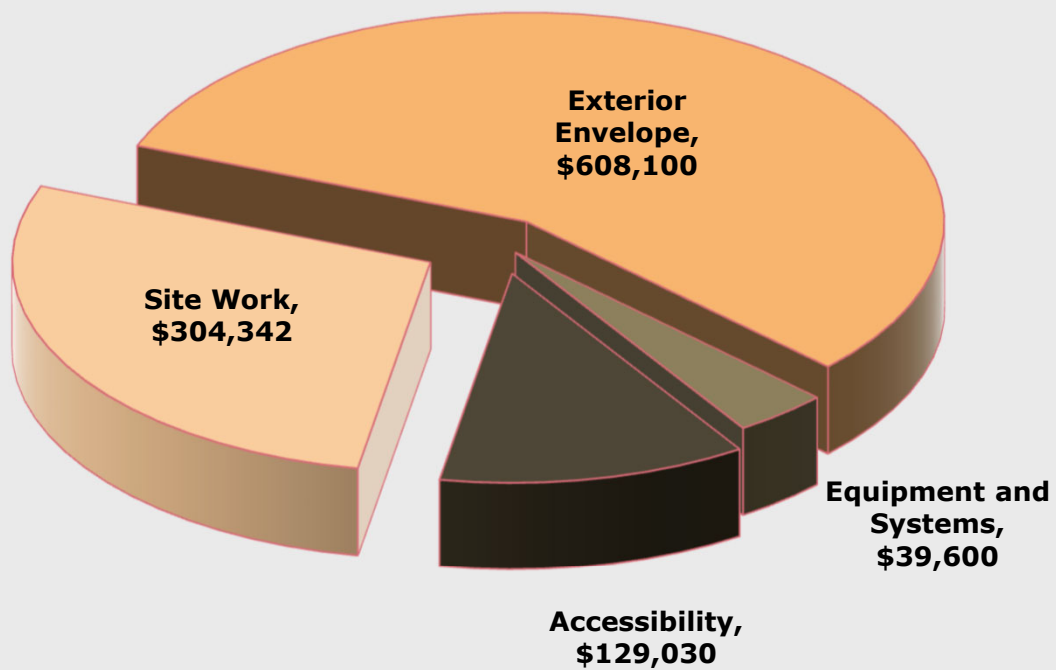


Project No:	23017.60
Bldg Age in Years:	65 Max
No. of Floors:	2 Max
Floor Area (SF):	51,185

No	Sec	Photos	ITEM	Avg EUL (yr)	EFF AGE (yr)	RUL (yr)	Quantity	Unit	Cost Estimate Source	Unit Cost	Immediate Needs	Replacement Reserves						Modernization Costs (Optional)										
											2023 Year 1	2024 Year 2	2025 Year 3	2026 Year 4	2027 Year 5	Years 1-5 Cumulative												
SITE WORK																												
1	B.01	18,28	Provide remedial measures to return all landscaping elements to overall "Good" condition.	N/A	N/A	N/A	1	LS	Allowance	\$25,000.00						\$25,000												
2	B.02	18-23	Provide remedial measures to return concrete sitework to overall "Good" condition.	N/A	N/A	N/A	1	LS	Means	\$40,000.00						\$40,000												
3	B.02	15, 27-32	Perform minor and full-depth repairs to address degraded surface condition of asphalt paving to return it to "Good" condition.	N/A	N/A	N/A	1	LS	Allowance	\$200,000.00						\$200,000												
4	B.02	27-32	Reseal all asphalt paved parking areas and drive aisles.	5	UNK	0	163,000	SF	Estimate	\$0.20						\$32,600												
5	B.02	31	Restripe all non-Accessible parking stalls.	5	UNK	0	134	EA	Estimate	\$13.00						\$1,742												
6	B.03	111,112	Conduct civil engineering investigation to evaluate parking lot drainage issue.	N/A	N/A	N/A	1	LS	Allowance	\$5,000.00						\$5,000												
7	B.05	113,114	MODERNIZATION: Provide remedial measures to return chain-link fencing to overall "Good" condition.	N/A	N/A	N/A	1	LS	Allowance	\$15,000.00							\$15,000											
EXTERIOR ENVELOPE																												
8	C.01	33	Church: Provide complete, new tear-off asphalt composite shingle roofing system.	UNK	UNK	UNK	11,000	SF	Estimate	\$5.00					\$55,000	\$55,000												
9	C.01	34	Rectory: Provide complete, new tear-off MB roofing system with white pea gravel ballast.	UNK	UNK	UNK	6,400	SF	Estimate	\$16.00						\$102,400												
10	C.01	35	Hall Bldg: Provide complete, new tear-off asphalt composite shingle roofing system.	UNK	UNK	UNK	8,000	SF	Estimate	\$5.00					\$40,000	\$40,000												
11	C.01	40-44	School: Provide complete, new tear-off MB roofing system with pea gravel ballast.	UNK	UNK	UNK	16,000	SF	Estimate	\$16.00						\$256,000												
12	C.01	38	Convent: Provide complete, new tear-off MB roofing system with white pea gravel ballast.	UNK	UNK	UNK	8,200	SF	Estimate	\$16.00						\$131,200												
13	C.01	14,39	Mod Bldg N: Provide complete, new tear-off asphalt composite shingle roofing system.	UNK	UNK	UNK	1,000	SF	Estimate	\$4.00						\$4,000												
14	C.01	14,39	Mod Bldg S: Provide complete, new tear-off ribbed metal panel roofing system.	UNK	UNK	UNK	1,000	SF	Estimate	\$5.50						\$5,500												
15	C.01	37	Garage: Provide complete, new tear-off asphalt composite shingle roofing system.	UNK	UNK	UNK	1,250	SF	Estimate	\$5.00																		
16	C.01	36	Bell Tower: Provide complete, new tear-off roofing system, type to match existing system.	UNK	UNK	UNK	1	LS	Allowance	\$3,750.00					\$6,250	\$6,250												
17	C.03	115	Replace degraded exterior doors.	N/A	N/A	N/A	1	LS	Allowance	\$4,000.00						\$3,750	\$3,750											
STRUCTURAL																												
INTERIOR FINISHES																												
18	E.	45-69	Annual allowance to provide renewal of interior floor, wall, and ceiling finishes, as needed.	N/A	N/A	N/A	1	LS	Allowance	\$150,000.00																		
EQUIPMENT & SYSTEMS																												
19	F.02	91	Rectory: Replace natural gas-fired boiler.	35	60	0	1	LS	Estimate	\$7,500.00						\$7,500												
20	F.02	116	Convent: Replace natural gas-fired boiler.	35	65	0	1	LS	Estimate	\$10,000.00						\$10,000												
21	F.02	94	MODERNIZATION: Hall Bldg: Replace two natural gas-fired furnaces.	40	48	N/A	2	EA	Estimate	\$6,000.00							\$12,000											
22	F.02	91,92	Rectory: Conduct an evaluation of hydronic loop heating system.	N/A	N/A	N/A	1	LS	Allowance	\$6,500.00						\$6,500												
23	F.03	99	Church: Install cover plate inside electrical sub-panel.	N/A	N/A	N/A	1	LS	Allowance	\$200.00	\$200																	
24	F.03	98-104	All Buildings: Conduct infrared scanning of the electrical distribution systems on a triennial schedule.	3	UNK	UNK	1	LS	Allowance	\$3,500.00						\$3,500												
25	F.03	117	Install GFCI receptacles in all required locations, where not already provided.	N/A	N/A	N/A	1	LS	Allowance	\$500.00	\$500																	
26	F.04	89,91,93,116	Church, Convent, Hall, and Rectory: Install flexible gas line connection on boilers and furnaces.	N/A	N/A	N/A	4	EA	Estimate	\$350.00	\$1,400																	
27	F.04	118	Church, Convent, Hall, School, and Rectory: Install automatic seismic shutoff valves on gas service lines.	N/A	N/A	N/A	5	EA	Estimate	\$500.00	\$2,500																	
28	F.05	107	Hall Bldg: Replace 50-gallon natural gas-fired water heater.	20	41	0	1	EA	Allowance	\$3,000.00						\$3,000												
29	F.05	106	Church and Mod Bldg N: Replace 20-gallon electric water heaters.	20	28	0	2	EA	Allowance	\$500.00						\$1,000												
30	F.06	108	MODERNIZATION: Convent: Provide a new fire alarm communicator panel.	10	UNK	UNK	1	LS	Allowance	\$2,500.00							\$2,500											
ACCESSIBILITY																												
31	G.01	32	Restripe regular Accessible parking stalls and access aisles.	5	UNK	0	7	EA	Estimate	\$110.00						\$770												
32	G.01	32	Restripe Van Accessible parking stalls and access aisles.	5	UNK	0	2	EA	Estimate	\$130.00						\$260												
33	G.01	32	Provide required Accessibility signage for parking.	N/A	N/A	N/A	1	LS	Allowance	\$3,000.00						\$3,000												
34	G.02 & G.03	—	Provide upgrades to improve overall exterior and interior path of travel elements and to restrooms and plumbing fixtures—should deficiencies in these building elements exist—to achieve a higher level of Accessibility compliance than currently exists.	N/A	N/A	N/A	1	LS	Allowance	\$125,000.00						\$125,000												
ABBREVIATIONS:											TOTAL IMMEDIATE NEEDS COSTS						\$4,600											
LS = Lump Sum Allowance											COST ESTIMATE SOURCES:						Sub-Total	\$866,772	\$161,200	\$30,000	\$33,500	\$135,000	\$1,226,472					
EA = Each											Estimate: Based on presumed or calculated quantities and unit costs based on based on research or previously documented amounts.						2.5% Inflation Factor per Year	1.025	1.051	1.077	1.104	1.131						
SF = Square Foot											Allowances are an amount established to cover the cost of a recommended remedial measure, the parameters of which are not specified in detail.						Inflation Amount	\$21,669	\$8,161	\$2,307	\$3,478	\$17,740	\$53,355					
RUL = Remaining Useful Life											TOTAL ANNUAL RESERVES						Total with Inflation	\$888,441	\$169,361	\$32,307	\$36,978	\$152,740	\$1,279,827					
EFF AGE = Effective Age																							Total Annual Reserves (\$ Per SF)	\$25.00				
UNK = Unknown																							Total Annual Reserves (\$ Per SF Per Year)	\$5.00				
V = Various																												
EUL = Expected Useful Life																												
N/A = Not Applicable or Not Assessable																												
TOTAL MODERNIZATION COSTS (Optional)																												

TOTAL EXPENSES BY CATEGORY

**(Immediate Needs and
Replacement Reserves)**



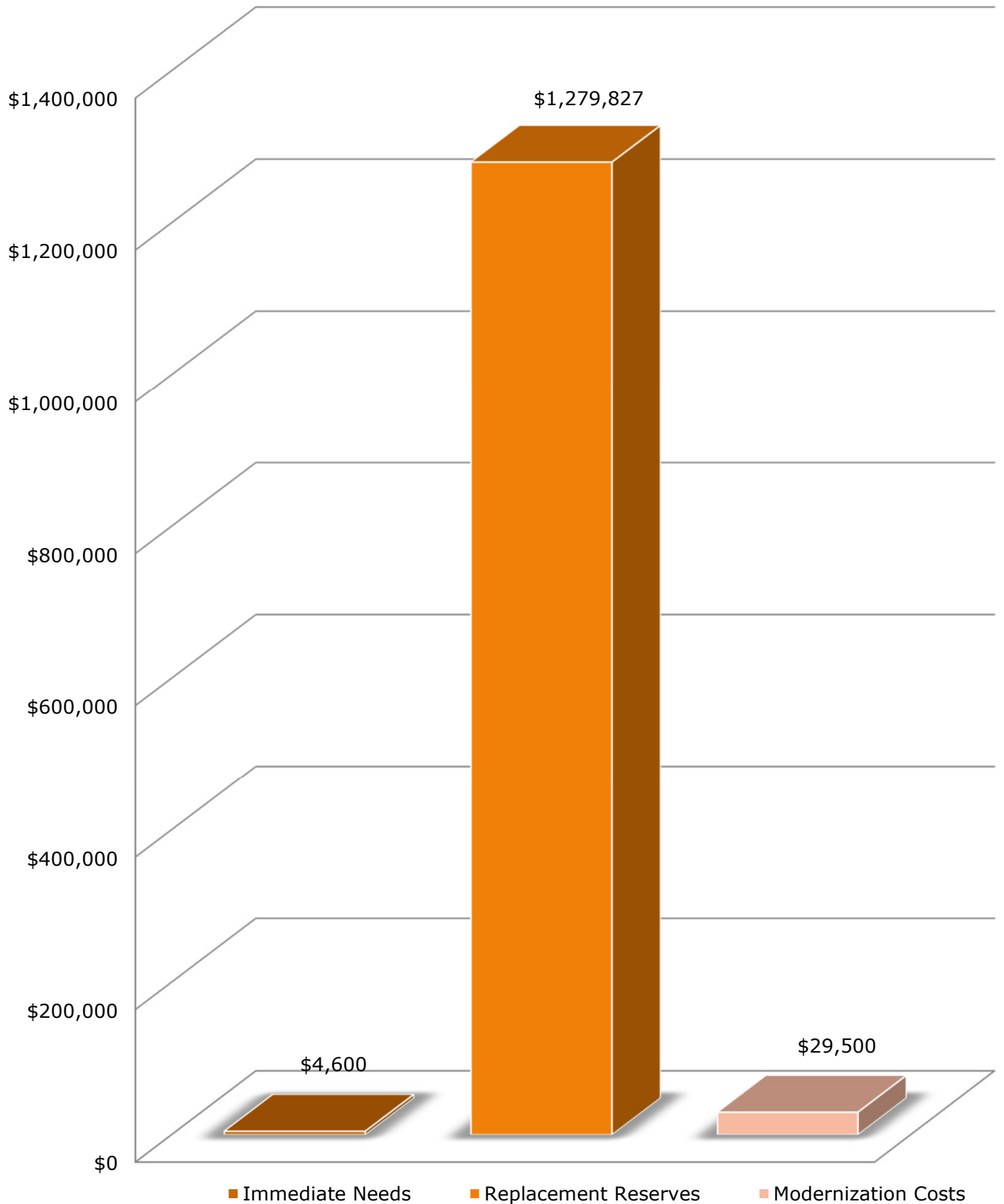
■ Site Work

■ Exterior Envelope

■ Equipment and Systems

■ Accessibility

EXPENSE BY TYPE



Replacement Reserves

Replacement Reserves are funds allocated for (1) priority-based repairs of physical deficiencies resulting from poor design, faulty installation, or the substandard quality of original systems or materials; (2) deferred maintenance; and (3) replacements of components or systems that have realized or exceeded their Expected Useful Life (EUL).

EUL is defined as the average amount of time in years that an item, component or system is estimated to function when installed new, assuming routine maintenance is practiced. AllWest applies EUL standards established by such organizations as the American Society of Heating, Refrigeration and Air-conditioning Engineering, Inc. (ASHRAE) and the U.S. Department of Housing and Urban Development (HUD) but may modify them following a subjective evaluation of an item, component or system by experienced, licensed professionals.

The five-year replacement reserves are estimated at **\$1,279,827**, which includes a 2.5% per year inflation factor. Expenditures include, among others, remedial measures to return asphalt and concrete paving to “Good” condition, new roofing systems, and site and building Accessibility upgrades.

Modernization

Optional Modernization expenses are estimated at **\$29,500**. The suggested work calls for replacement of degraded chain-link fencing, replacement of two older natural gas-fired boilers, and installation of a new fire alarm communications panel.

minor deficiencies were cited. A copy of the report is included in the Appendix.

Additional documents reviewed include:

1. Marin County GIS map;
2. Marin County Assessor’s Parcel Map;
3. Marin County Assessor’s information summary;
4. Novato Municipal Code;
5. Novato online building permit records;
6. Novato GIS map.

The parcels have a City of Novato zoning designation of R5-4.5 (Medium Density Residential—allowing one dwelling unit per each 4,500 sq ft of site area). This zone is discussed in Division 19.10 of the Novato Municipal Code. The R5 zoning district is intended for areas appropriate for a mix of housing types on smaller lots. Typical residential land uses include single- and two-family dwelling units, either attached or detached. The maximum allowable residential density ranges from 5.1 to 10 dwelling units per acre. The R5 zoning district is consistent with the Medium Density Residential land use designation of the General Plan.

The subject property appears in general compliance with the requirements of the building codes that were in effect at the time of original construction, though numerous deficiencies were observed concerning current CBC Disabled Accessibility requirements.

Copies of pertinent documents are included in the Appendix.

II. REGULATORY REVIEW

The buildings were likely designed to meet the prevailing building codes at the time of original design and permitting, presumably the 1955 Uniform Building Code (UBC) for the Hall Bldg, School, and Convent; and the 1961 UBC for the Church, Rectory, Bell Tower, and Garage. Building permit records online only go back to 2000. Copies of original permits and original Certificates of Occupancy, if issued, are not available online.

AllWest conducted research with agencies of the City of Novato for information concerning permits and violations from the Fire, Building, and Planning Departments. No derogatory information was uncovered with the Building and Planning Departments; no open building permits were recorded. An inspection report, dated May 20, 2019, from the Fire Department was provided; several

III. PROPERTY CONDITION ASSESSMENT

Please refer to the attached Figures and Photos to supplement the site descriptions and building conditions.

A. GENERAL

A.01 INTRODUCTION

Vehicular access to the site is via three curb cuts along Virginia Avenue and one each on Grant Avenue and on Novato Boulevard.

The primary pedestrian entrances to the School and Hall Bldgs face Virginia Avenue; the primary entrances to the Church and Rectory face Novato Boulevard. The Convent's primary entrance is along its east elevation. The Bell Tower is located between the Church and the Rectory. The detached Garage is located to the north of the Rectory.

The Convent is no longer used as a residential facility; residential rooms have been converted into classrooms. The Hall Bldg contains a basketball court, a stage, and a backstage area.

A.02 PROPERTY SUMMARY DATA

Assessor's Parcel Numbers:

141-142-16 (North parcel)

141-142-17 (South parcel)

Primary Address:

1806 Novato Boulevard

Novato, CA 94947

Zoning:

R5-4.5 (Medium Density Residential)

Occupancy Type:

Group A-3: (Assembly—Religious facility)

Group E: (Educational)

Group R-2: (Residential—Convent & Rectory)

Group B: (Business – offices)

Construction System:

All primary buildings: Type V wood wall, roof, and floor framing.

Church, Hall Bldg, and Rectory: Foundations below crawlspace presumably consist of shallow, perimeter strip footings and interior spread footings

School and Convent: Foundations consist of concrete slab-on-grade, presumably with shallow, perimeter strip footings.

Construction Type:

All primary buildings: Type V-B, non-fire resistive rated and non-sprinklered.

Likely Years of Original Construction:

Church: 1963

Hall Bldg: 1958

School: 1958

Rectory: 1963

Convent: 1958

Mod Bldgs: 1993

Garage: 1963

Bell Tower: 1963

Seismic Retrofit:

None observed and no records of building permits issued for seismic upgrades were uncovered.

Flood Zone:

FEMA Flood Zone X (shaded) and

Flood Zone AO (Depth 2 feet)

Site Area:

141-142-16: 3.92 acres (170,775.20 sq ft)

141-142-17: 1.89 acres (82,154.16 sq ft)

Total: 5.81 acres (252,909.36 sq ft)

No. of Buildings:

Five primary buildings

Two modular buildings

One detached Garage

One Bell Tower

Floor Area:

Church: 10,630 sq ft

Hall Bldg: 11,760 sq ft

School: 20,300 sq ft

Rectory: 8,400 sq ft

Convent: 8,060 sq ft

Mod Bldg N: 960 sq ft

Mod Bldg S: 960 sq ft

Garage: 1,120 sq ft

Total: 51,185 sq ft

No. of Stories:

Church: One story—double volume height

Hall Bldg: One story—double volume height

School: One story

Rectory: Two stories

Convent: Two stories

Mod Bldgs: One story

Garage: One story

Approximate Height:

55' – 0" at bell tower

Parking:

143 stalls

Accessible Parking:

Nine Accessible stalls, two of which are Van Accessible; meets Accessibility code requirements for the number of stalls provided.

Path of Travel:

Variable compliance, with numerous deficiencies.

Restrooms:

Generally non-compliant with current Accessibility code requirements.

A.03 PROPERTY DIRECTORY

Owner:

Archdiocese of San Francisco
1 Peter Yorke Way
San Francisco, CA 94109

Fire Alarm Monitoring:

Fire King Fire Protection, Inc.
26 Commercial Boulevard, Suite M
Novato, CA 94949

A.04 UTILITY SERVICES

Water: North Marin Water District

Sewer: Novato Sanitary District

Electricity: Pacific Gas & Electric (PG&E)

Gas: PG&E

B. SITE DEVELOPMENT & LANDSCAPING

Mature landscaping is provided and watered by an automatic irrigation system. Delineated off-street parking for 143 cars is provided in the at-grade lot. Part of the site is located in a FEMA Special Flood Hazard Area (Zone AO).

B.01 LANDSCAPING & IRRIGATION

The physical condition of the landscaping and irrigation appeared "Good."

Landscaping is installed along building façades at most buildings and along the site perimeter. Landscaping includes mature trees, shrubs, grass lawns, ground cover, and flowering plants. In some landscaped areas, wood chips are provided as a substitute for planted ground cover.

The property has an automatic irrigation system with a multiple programmable controllers that provide water through an underground distribution system and end devices to landscaping elements and turf.

Landscaping elements appeared in generally "Good" condition, though some degraded plants—and missing plants—were observed. There are voids in the asphalt paving where we presume plants were once located. The grass lawn areas have a generally unkempt appearance with weeds, dead grass, and bare spots present. Remedial

measures to return all landscaping elements to "Good" condition are recommended.

A cost estimate for landscaping upgrades is included in the Immediate Needs & Replacement Reserves Analysis.

B.02 PARKING, DRIVEWAYS & CONCRETE SITEWORK

The physical condition of the parking, driveways and concrete sitework appeared "Good" to "Poor."

Concrete public sidewalks are provided along the three streets that bound the site on its north, east, and south sides. Curb ramps are located at the northeast and southeast corners of the site. The City of Novato does not appear to have a sidewalk maintenance program in effect; the property owner is responsible for maintenance of sidewalks. Permit no. EN2014-0168, issued on November 11, 2014, indicates that 780 linear feet of sidewalk were replaced; this is roughly 40% of the sidewalk at the property. The newer sidewalks appeared in typically "Good" condition.

Circulation between buildings is typically via asphalt paved areas. Cast-in-place concrete walkways are installed and connect the Church and the Rectory; they are also installed at the Hall Bldg, the School, and the Convent. Cast-in place concrete stairs are installed at all primary buildings, except the School. At the School, the concrete-paved, rectangular courtyard is enclosed on all four sides.

The concrete sitework appeared in mostly "Good" to "Fair" condition, though a large number of deficiencies were observed. Throughout the site, numerous instances occur where there is a change in elevation in excess of ¼" between concrete sidewalk or walkway panels; these elevation changes present tripping hazards. Cracks in concrete paving resulting in voids in the concrete were also observed, as were some areas where the surface of the concrete is badly degraded with excessive cracking and loose aggregate observed. In the courtyard on the west side of the Church—and elsewhere around the site—tripping hazards in concrete sitework have been created by upheaval caused by tree roots.

AllWest recommends both minor remedial measures (concrete grinding) and more significant, full-depth repairs to return concrete sitework to "Good" condition. Minor repairs should be provided to address these deficiencies as part of ongoing regular maintenance; a cost estimate for these repairs is not included in the spreadsheet, while a cost estimate for full-depth concrete repairs is included.

Much of the site is covered with asphalt paving; this paved area is used for parking and as a playground area. The asphalt parking areas and playground appeared in "Fair" to "Poor" condition. These areas appear to have last been restriped between September of 2010 and February of 2012. The last complete reseal appears to have taken place between July and December of 2003. AllWest recommends that asphalt paved surfaces be resealed and restriped on a five year schedule. Resealing and restriping can be anticipated during the reserve term.

Widespread deficiencies with the asphalt paving were observed; these include meandering cracks, linear cracks, alligator cracking, voids in the paving where plants were once presumably located, degraded surface condition with loose aggregate, and upheavals and depression caused by tree roots. AllWest recommends that minor and full-depth asphalt repairs be undertaken to return asphalt paving to "Good" condition.

Estimates for work relating to the concrete sitework and the asphalt-paved areas are included in the Immediate Needs & Replacement Reserves Analysis.

B.03 SITE DRAINAGE

The physical condition of the site drainage appeared "Good" to "Poor."

The site was observed in dry weather.

The subject property is located in FEMA Flood Zone AO (Depth 2 feet) and Zone X (shaded) per FIRM Panel No. 06041C0277E, dated March 16, 2016. FEMA describes Flood Zone X (unshaded) as an area of 0.2% Annual Chance Flood Hazard, an area of 1% annual chance flood with average depth less than one foot, or with drainage areas of less than one square mile. Areas along the north and west perimeters of the site are in this flood zone.

FEMA describes Flood Zone AO (Special Flood Hazard Area) as a river or stream flood hazard area, and an area with a 1% or greater chance of shallow flooding each year, usually in the form of sheet flow, with an average depth ranging from 1 to 3 feet. These areas have a 26% chance of flooding over the life of a 30-year mortgage. Average flood depths derived from detailed analyses are shown within these zones. The majority of the site is in this flood zone. Mandatory flood insurance purchase requirements apply in the AO Zone.

The concrete- and asphalt-paved surfaces adjacent to buildings typically slope away from the structures

into landscaped areas or toward catch basins found within the paved areas. Asphalt paving is typically sloped to convey water to area drains.

The site has a small change in elevation of four feet with the slope descending from south-southeast to north-northwest. Heidi Garzo reported a drainage problem in the parking lot. During recent heavy rains in the December 2022 to January 2023 period, two area drains would not drain and ponded water accumulated to a depth of approximately 18" at one of the drains. The drains are located in a low area of the parking lot. The underground drainpipe that conveys water from these area drains was blocked by water that had risen to an inordinate height in the creek that runs near the north and east sides of the property. The drain line runs in an E-W direction on the property and travels beneath Grant Avenue and releases storm water into the creek. The open end of the pipe is roughly eight feet above the creek bed. Creek water had risen and entered the mouth of the drain pipe. AllWest recommends that a civil engineering investigation be undertaken to evaluate this problem and to make recommendations for remedial measures.

A cost estimate for the engineering study is included in the Immediate Needs & Replacement Reserves Analysis.

B.04 MISCELLANEOUS ITEMS & SUPPORT STRUCTURES

The physical condition of miscellaneous items and support structures appeared "Good."

For the purposes of this report, AllWest considers the Bell Tower, the detached Garage, and both Mod Bldgs as support structures; all appeared in generally "Good" condition. Our recommendations for new roofing systems (Section C.01) for the support structures will be discussed in that section.

Playground equipment is located in an exterior area topped with wood chips along the north elevation of the School.

B.05 FENCING & SCREENING

The physical condition of fencing and screening appeared "Good" to "Fair."

Galvanized chain-link fencing is installing along the full length of the west site boundary; chain-link fencing with gates is installed along portions of the other three site boundaries. Chain-link fencing is also installed in a few interior locations within the site. The fencing appeared in generally "Good" condition though generally minor rust was

observed, as were some bent or out-of-plumb posts, bulging chain-link was also observed. These deficiencies are primarily aesthetic and do not affect the fencing's ability to act as a barrier.

A chain-link trash enclosure with chain-link gates is located to the north of the Garage. Brown plastic slats are woven into the chain-link to act as a visual barrier. The enclosure appeared in generally "Good" condition, though a bent horizontal support was observed

A cost estimate to return fences and gates to overall "Good" condition is included as an optional Modernization expense in the Immediate Needs & Replacement Reserves Analysis.

B.06 SIGNS & IDENTIFICATION

The physical condition of signage appeared "Good."

A small, painted concrete monument sign with the church name is located near the southeast corner of the site. Signage for the school is located at parapet level along the east elevation of the building.

B.07 STAIRS, LANDINGS & RAILINGS

The physical condition of exterior stairs, landings, and railings appeared "Good."

Cast-in-place concrete stairs are provided at the Church, Rectory, Convent, and Hall Bldg; wood-framed stairs are also installed at the Hall Bldg and at the Mod Bldgs. The concrete stairs along the south elevation of the Church and at its southwest corner are faced with red terra cotta pavers. At concrete stairs, the typically railing is of galvanized steel tube construction. The small set of concrete stairs at the Convent lack railings altogether.

Two sets of wood framed stairs with wood railings are provided; one at the Hall and the other at the Mod Bldgs.

A concrete wheelchair ramp with a steel tube railing is provided at the Church; wood-framed ramps with wood railings serve the Hall and Mod Bldgs.

All exterior stairs have closed risers. Visually contrasting stripes are not provided on each tread, as required, at any exterior stair.

All railings, both steel and wood, are non-compliant with current Accessibility requirements. Deficiencies for Accessibility are discussed in Section G.02.

B.08 SERVICE & DOCK AREAS

Loading docks are not provided.

C. EXTERIOR ENVELOPE

Painted stucco and painted wood siding with a vertical orientation are the dominant exterior finishes. Pitched roofs with asphalt composite shingles and flat and low pitched roofs with MB systems are installed. A variety of window types is installed, including those with vinyl, aluminum, and wood frames. Single pane glazing is typical in older windows; newer windows have dual-pane glazing.

C.01 ROOF & ACCESSORIES

The physical condition of the roofs and accessories appeared "Fair" to "Poor."

Church: Pitched roofs with tan asphalt composite shingles (Fair);

Hall Bldg: Pitched roofs with tan asphalt composite shingles (Fair);

School: Flat roof with minimal slopes with a modified bitumen (MB) system and pea gravel ballast (Fair to Poor);

Rectory: Low pitched roofs with an MB system with white gravel ballast (Fair to Poor);

Convent: Low pitched roofs with an MB system with white gravel ballast (Fair to Poor).

AllWest did not directly access any pitched roof systems, though we were able to view some of them from the second floor windows in the Rectory and Convent and from grade. Mod Bldg S has a ribbed galvanized steel panel roofing systems. The Garage and Mod Bldg N have asphalt composite shingle roofing systems. The roof of the Bell Tower was not visible; satellite photos indicate that some sort of white-colored roofing system is installed.

Roof maintenance is conducted by J O Roofing.

The ages of the roofing systems are unknown, and it was not possible to establish roof ages from building permit records. Roof warranty information was also not available; AllWest presumes all roofing systems have time-expired warranties. Because of the unknown age of the roofing systems, we recommend that new roofs be installed during the reserve term.

Roof Drainage

The physical condition of the roof drainage appeared "Good."

Gutters and exterior wall-mounted downspouts that discharge slightly above grade typically provide roof drainage. At the Hall, the downspouts are tied to the municipal storm drain system. The School also has atrium grated roof drains for primary drainage with scuppers providing overflow protection on the main portions of the roof; gutters and downspouts are installed on the canopy overhangs. Gutters and downspouts are not installed on the Church.

Where installed, gutters should be replaced as part of the roof replacements recommend above. The cost for gutter replacement is included within the estimates for the new roofing systems.

Costs estimates for new tear-off roofing systems are included in the Immediate Needs & Replacement Reserves Analysis. Should the buildings be eligible for overlay systems, the costs for those are approximately half of those listed for complete tear-off systems.

C.02 EXTERIOR FINISHES

The physical condition of the building exterior finishes appeared "Good."

The façades of the five primary buildings have the following exterior finishes; the year of the last exterior repainting appears in parentheses:

Church: Painted concrete stucco (2020);

Hall Bldg: Painted concrete stucco (2020);

School: Painted wood siding with a vertical orientation (2022);

Rectory: Painted wood siding with a vertical orientation and painted stucco (2022);

Convent: Painted wood siding with a vertical orientation and painted stucco (2022).

Both modular buildings have painted wood siding as the exterior finish (repainted in 2022), as does the Garage (repainted in 2020). The Bell Tower (repainted in 2020) has painted stucco exterior finishes. Exterior repainting during the reserve term is not anticipated.

C.03 DOORS, WINDOWS & SKYLIGHTS

The physical condition of exterior doors and windows appeared "Good" to "Fair."

Skylights are not installed.

Newer windows are dual-pane, clear glass with vinyl frames. Older windows have wood or aluminum frames and are fitted with single-pane glazing. Windows are provided as follows:

Church: Vinyl-, wood-, and aluminum-framed windows. The stained glass windows have painted wood frames;

Rectory: Vinyl-framed windows;

Hall Bldg: Painted wood-framed windows;

School: Vinyl-framed windows;

Convent: Vinyl-framed windows;

Both Mod Bldgs: Aluminum-framed windows;

Garage: Painted wood-framed windows;

Bell Tower: Painted wood-framed windows (presumed).

Painted solid-core exterior wood doors with conventional doorknobs are installed; some doors are fitted with transparent glass lites. A small number of doors were observed in a degraded condition; replacement is recommended.

An allowance to replace the degraded exterior doors is included in the Immediate Needs & Replacement Reserves Analysis.

C.04 PATIOS, COURTYARDS & BALCONIES

The physical condition of courtyards appeared "Good" to "Fair."

Patios and balconies are not provided.

There is a concrete-paved courtyard at the School; it appeared in "Good" condition. The concrete-paved courtyard west of the Church is discussed in Section B.02, where our recommendation for concrete repairs is discussed. Numerous tripping hazards are present in this courtyard, which AllWest evaluates as in "Fair" condition.

D. STRUCTURAL ELEMENTS

The buildings were likely designed to meet the prevailing building codes at the time of original design and permitting, presumably the 1955 UBC for the Hall Bldg, School, and Convent; and the 1961 UBC for the Church, Garage, Bell Tower, and Rectory. The site does not appear to be located on

artificial fill, though it is in a USGS Moderate liquefaction zone.

AllWest has prepared a separate report which evaluates the seismic performance of the buildings. See that report for additional information about the buildings' structural systems.

Structural elements were rarely visible and, when visible, typically only in limited viewing areas. The five primary buildings likely have the following structural characteristics:

Church: Conventional Type V-B wood roof and wall framing with tapered glulam arches at the central double volume space;

Hall Bldg: 1958: Conventional Type V-B wood roof and wall framing with tapered glulam arches at the central double volume space;

School: Conventional Type V-B wood roof and wall framing;

Rectory: Conventional Type V-B wood roof, intermediate floor, and wall framing;

Convent: Conventional Type V-B wood roof, intermediate floor, and wall framing.

Plywood or diagonal board sheathing is presumably provided at roofs and intermediate floor decks.

The Bell Tower, Garage, and Mod Bldgs also have conventional Type V-B wood framing structural elements.

D.01 FOUNDATIONS

The physical condition of foundations appeared "Good."

The Church, Rectory, and Hall Bldg have crawlspace below the first floor; the foundations presumably consist of shallow, reinforced concrete strip footings under the perimeter walls and spread footings below the first-floors' post and beam wood framing. The Convent and School have concrete slab-on-grades, likely with shallow, reinforced concrete strip footings at the perimeter.

The Bell Tower and the Garage are also founded on concrete slabs-on-grade. AllWest was unable to observe the Mod Bldgs' foundations below the crawlspace.

D.02 WALL CONSTRUCTION

The physical condition of the wall construction appeared "Good."

See Section D for a description of the wall framing. All walls observed during the site visit appeared plumb.

D.03 ROOF/FLOOR FRAMING

The physical condition of roof and floor framing appeared "Good."

See Section D for a description of the roof and intermediate floor framing. No anomalies were observed with the floor and roof framing systems.

E. INTERIOR FINISHES

Interior finishes have been selected to serve the many functions of the facility. While the classroom finishes are well suited to constant traffic and heavy use, the property also houses facilities that are also used by the community—such as the Church and, perhaps less often, the Hall Bldg—where more refined finishes are appropriate.

All interior finishes are suited for their uses and are generally well maintained. Wear and tear commensurate with use was observed on interior floor, wall, and ceiling finishes.

At a property such as this church and school, the renewal of interior finishes is more akin to a matter of ongoing, routine maintenance than it would be at a commercial property involving an owner (landlord) and a separate tenant as a lessee. Typically, AllWest does not include cost estimates for the renewal of interior finishes in a commercial lease situation, where the costs of the interior improvements are amortized and passed on to the tenant as part of the monthly lease payment.

However, since the subject property is essentially owner-occupied, interior finish renewal becomes a capital expense. As such, we are including annual allowances for interior finish improvements in the Immediate Needs & Replacement Reserves Analysis. We are not specifying what needs to be done in any given year, since those that manage and occupy the church and school are in a far better position to determine what interior improvements might be needed at any given time.

E.01 FLOOR & BASE FINISHES

The physical condition of floor finishes appeared "Good."

The most common floor finishes are low-pile, broadloom carpet and carpet squares in office areas, as well as vinyl laminate plank flooring in private offices and conference rooms. VCT and

low-pile carpeting are found in classrooms. The basketball court in the Hall Bldg has hardwood plank flooring. Terra cotta tiles are installed in the kitchen of the Hall Bldg. In the Church, low-pile carpet squares are installed in the nave; the chancel has polished travertine steps and flooring.

VCT, vinyl sheet flooring, and ceramic tiles are found in restrooms and bathrooms.

E.02 WALL FINISHES & DOORS

The physical condition of wall finishes and doors appeared "Good."

Walls are typically painted gypsum board, and perhaps painted plaster in the Church.

Restroom wall finishes are—most often—painted gypsum board; many restrooms have ceramic tile wainscots.

E.03 CEILING FINISHES

The physical condition of ceiling finishes appeared "Good."

Painted gypsum board ceilings are typically installed as well as suspended acoustical ceiling tile systems. Some classrooms and offices have adhesive-applied acoustic ceiling tile systems. Stained wood plank ceilings are also installed in the Church.

Restroom ceiling finishes are typically painted gypsum board.

E.04 INTERIOR STAIRS

The physical condition of stairways appeared "Good."

In the Rectory and Convent, wood-framed interior stairs serve the second floors of those buildings; the stairs in the Convent are carpeted. There are two sets of stairways in each of these buildings. In the Church, two sets of carpeted wood-framed stairs are installed to provide access to the choir loft at the south end of the building; a set of cast-in-place concrete stairs provides access to the mechanical room at the northeast corner of the building. In the Hall Bldg, two sets of wood-framed stairs provided access to the backstage area; another two sets directly access the stage itself.

When provided, wood handrails are most often installed, usually on one side only; metal handrails are installed in the Rectory. Many stairs lack handrails altogether. Visually contrasting stripes are

not installed on top and bottom treads in an overwhelming majority of locations, as required.

Deficiencies for Accessibility for the stairs and railings are discussed in Section G.02.

F. EQUIPMENT & SYSTEMS

Some older HVAC equipment, likely dating to original construction, is still installed. The Rectory is the only building provided with air conditioning; all other habitable buildings have heat only.

A PG&E transformer provides power to the 240/120-volt, single-phase, primary switchgear, located within an exterior enclosure near the southeast corner of the Convent.

Domestic and irrigation water is provided by the North Marin Water District.

Fire sprinkler systems are not installed in any building.

F.01 METERS

The physical condition of the utility meters appeared "Good".

Three electric meters were observed. At the Church and Rectory, they are exterior wall-mounted. At the School, the meter is inside the main electrical service room. AllWest presumes the Church and Hall Bldg share a meter, and it is possible the meter for the Convent is inside a locked PG&E exterior enclosure. Another possibility is that the School and Rectory share a meter.

PG&E provides natural gas to the property; each of the five primary buildings has a gas meter in an exterior location. Automatic seismic shutoff valves are not installed.

North Marin Water District provides a domestic and irrigation water service from mains beneath the three streets that bound the site on its north, east, and south sides. Water meters are located in underground vaults. Backflow prevention devices were not observed.

F.02 MECHANICAL – HVAC

The physical condition of the HVAC systems appeared "Good" to "Fair."

The split-system heat pumps use R-410a, which is an environmentally friendly refrigerant that should be in abundant supply through the serviceable lives of the

units that use it. No refrigerant related issues are anticipated during the evaluation period.

Space Cooling and Heating

HVAC equipment is provided in the habitable buildings, as follows:

Church: Two natural gas-fired furnaces, manufactured by *Reznor* in November 2011, each with 350,000 BTU/hr heating capacity (input);

Rectory: Three *Mitsubishi* split-system heat pumps were installed in January of 2023. Each has 1.5 tons of cooling capacity and 18,000 BTU/hr of heating capacity. One window unit air conditioner also provides cooled air to an office area on the first floor; the age, manufacturer, and capacity of this unit are unknown. The Rectory also has a hot water boiler, manufactured by *Crane* with a 217,600 BTU/hr heating capacity (input) and likely dating to original construction in 1963. The boiler serves a hydronic loop heating system with baseboard heat exchangers; Heidi Garzo reported that this system is not functioning correctly. Some heat exchangers provide adequate heat to the space served; others do not. Five circulation pumps for the hydronic loop system were replaced in December 2022, but this measure did not resolve the problem with inadequate heat.

Hall Bldg: Two natural gas-fired furnaces, manufactured by *Lennox* in October 1975, each with 165,000 BTU/hr heating capacity (input). These units were reported to be functioning correctly;

School: One natural gas-fired furnace manufactured by *Day & Night* provides heat to the office area. Each of the eight classrooms has its own natural gas-fired furnace, all manufactured by *Amana*. ID plaques were not visible on any furnace; their heating capacities and ages are unknown. The likely heating capacity of the Day & Night unit is in the 150,000 to 200,000 BTU/hr (input) range. Likely heating capacity is 35,000 to 45,000 BTU/hr (input) range for each *Amana* unit. All of these units appear to have been installed subsequent to original construction in 1958.

Convent: A *Raypak* hot water boiler—likely dating to original construction with a heating capacity of 383,000 BTU/hr (input)—and a hydronic loop heating system with baseboard heat exchangers is installed.

Mod Bldgs: Two electric furnaces, manufactured by *ZoneAire*, provide heat in each Mod Bldg. The age and heating capacity are unknown. Likely heating capacities are in the 15,000 to 25,000 BTU/hr range for each unit.

Control System

Both digital and older-style, analog thermostats are installed.

Ventilation

Exhaust air requirements are handled by roof-mounted exhaust fans and static vents, where provided. Most restrooms and bathrooms we observed lack ceiling exhaust fans and rely on windows for air circulation.

Equipment

Even though the older HVAC equipment is reported to be functioning correctly—with the notable exception of the boiler/hydronic loop system in the Rectory—AllWest is including cost estimates to replace the two boilers, which likely date to original construction. The Hall Bldg furnaces date to 1975 and their replacement costs are listed as optional Modernization expenses since they are reported to still be functioning normally.

Cost estimates for various HVAC component replacements and evaluation of the Rectory's hydronic loop system are included in the Immediate Needs & Replacement Reserves Analysis in both the five-year replacement and optional Modernization categories.

F.03 ELECTRICAL

The physical condition of the electrical systems appeared “Good.”

Power Supply

A PG&E sidewalk vault transformer provides power to the 240/120-volt, single-phase, primary switchgear, located within an exterior enclosure near the southeast corner of the Convent. Copper wire-in-conduit runs serve electrical distribution needs. Each primary building has its own main entrance panel. Main service entrance panels in the primary buildings have ratings ranging from 100 amps to 225 amps, as follows:

Church: 225 amps;

Rectory: Two 100 amp service entrance panels;

Hall Bldg: 200 amps;

School: 200 amps;

Convent: 200 amps.

Main distribution panels use copper wire-in-conduit runs to feed electrical receptacle, lighting, and equipment. Ground fault current interrupter (GFCI) receptacles are provided within six feet of water sources in a majority of observed required locations. One older electrical subpanel in the Church is lacking a cover plate for its internals. Installation of a cover plate and GFCI receptacles in required locations is recommended.

Infrared scanning of the electrical system has not been performed. AllWest recommends the electrical systems be scanned for hot spots and loose connections that develop over time; scanning is recommended on a triennial basis.

Cost estimates for various remedial measures for the electrical systems are included in the Immediate Needs and Replacement Reserves Analysis.

Lighting

A wide variety of interior lighting fixtures is provided:

Recessed fluorescent fixtures in acoustical tile ceiling systems with translucent acrylic lenses and T8 lamps;

Recessed can lighting fixtures with compact fluorescent lamps;

Recessed can lighting eyeball fixtures with compact fluorescent lamps;

Ceiling-hung drum fixtures with white glass lenses and compact fluorescent lamps in Church nave;

Ceiling-mounted drum fixtures with white glass lenses and compact fluorescent lamps;

Ceiling-mounted 4-lamp 48" strip fixtures end with translucent polycarbonate lenses and T8 lamps;

Ceiling-mounted 4-lamp 48" fluorescent fixtures with white polycarbonate lenses and T8 lamps.

Lighting is controlled typically by manual switches with some motion sensor switched also installed. A small number of LED recessed can square fixtures have been installed in the Church.

Exterior Lighting

A variety of exterior lighting fixtures is provided:

Soffit-mounted recessed can downlights with compact fluorescent lamps;

Exterior wall-mounted industrial-type HID fixtures;

Roof-mounted industrial-type HID fixtures;

Decorative scones with white glass lenses;

Exterior wall-mounted downlight can fixtures with compact fluorescent lamps.

Though not observed after dark, exterior lighting appears to be adequate for the property's needs.

Energy Management System

An energy management system is not installed.

Emergency Power

No emergency power is provided, other than battery backup for fire alarm devices and emergency lighting, where provided.

F.04 GAS

The physical condition of the gas equipment and systems appeared "Good."

PG&E provides natural gas to the property through high-pressure gas mains with a 1-1/4" gas service line and meter at each of the five primary buildings. The services are not protected with a seismic safety shutoff valve; valve installation is recommended.

High-pressure gas is distributed in galvanized steel pipe to loads throughout the primary buildings. Natural gas is consumed by water heaters, furnaces, and kitchen equipment.

All gas-fired water heaters are protected with flexible gas line connections. The gas-fired boilers in the Convent and Rectory and the gas-fired furnaces in the Hall and Church are provided with rigid gas line connection; installation of flexible connections is recommended.

Cost estimates to provide five automatic seismic shutoff valves on the main gas services and four flex line connections are included in the Immediate Needs & Replacement Reserves Analysis.

F.05 PLUMBING

The physical condition of the plumbing appeared “Good.”

Supply Piping

Domestic and irrigation water is provided by the North Marin Water District. Meters are installed in underground vaults. A backflow prevention device was not observed. All observed domestic water piping inside buildings is copper. Irrigation piping is PVC.

Waste Piping

Wastewater piping was not observable. AllWest presumes cast iron waste piping is installed.

The Hall Bldg kitchen waste piping is likely not fitted with a grease interceptor; Heidi Garzo did not know if one is installed.

Fixtures

Toilets are typically floor-mounted 1.6 gallon per flush units with conventional flush tanks with handle actuation. Some low-flush urinals are also installed. In the School, flush valve toilets are installed in the children’s restrooms. Urinals are also installed. The toilet fixtures in the children’s restrooms in the School do not appear to be low-flush units.

Sinks are typically wall-mounted vitreous china units; pedestal sinks are installed in the bathrooms of the Rectory. Many sinks have dual-handle faucet controls that are not compliant with current Accessibility requirements. Newer sinks typically have compliant single-lever faucet controls.

Service and classroom sinks are stainless steel counter-mounted units with either single- or dual-lever faucet controls.

Domestic Hot Water

Water heaters are provided—with our recommendation for replacement, when appropriate, in parentheses—as follows:

Church: *AO Smith*, 20-gallon, electric, unstrapped, manufactured in December 1995 (replace);

Rectory: *Bradford White*, 75-gallon, natural gas, strapped, manufactured in June 2022;

Hall Bldg: *Ruud*, 50-gallon, natural gas, strapped, manufactured in January 1982 (replace);

School: *AO Smith*, 20-gallon, natural gas, strapped, manufactured in October 2011;

Convent: *American Standard*, 50-gallon, natural gas, strapped, manufactured in June 2021;

Mod Bldg N: *AO Smith*, 20-gallon, electric, unstrapped, manufacture date unknown; ID label was not visible (replace).

AllWest recommends that the two small electric water heaters be strapped for seismic safety; since both of these units are also recommended for replacement, seismic strapping is included in the cost estimate for a new water heater.

Cost estimates for water heater replacement have been included in the Immediate Needs and Replacement Reserve Analysis.

F.06 FIRE PROTECTION

The physical condition of the installed fire protection system appeared “Good.”

An inspection report, dated May 20, 2019, from the Novato Fire Department was provided; several minor deficiencies were cited. A copy of the report is included in the Appendix. The overwhelming majority of the violations concern housekeeping issues or the use of non-UL rated power strips. AllWest inquired if any of these deficiencies had been addressed, but we had not received a response at the time of publication. AllWest recommends that remedial measures be provided to address these deficiencies; a cost estimate is not included in the spreadsheet since most of them can be simply and readily rectified by in-house personnel.

Firewater Distribution and Suppression Devices

Fire sprinkler systems are not installed in any building. Portable fire extinguishers are provided in all habitable buildings; all observed inspection tags were current with December 2022 inspection dates. Five lb. ABC-type dry chemical fire extinguishers are located at regular intervals throughout each habitable building. The extinguishers are typically wall-mounted. Illuminated exit signs and emergency

lighting with battery back-up are installed in some buildings. Fire hydrants are located at the intersections of Novato Boulevard and Grant Avenue and of Grant Avenue and Virginia Avenue; another hydrant is located along Novato Boulevard, near the Rectory. All three hydrants are on the subject property.

It was reported that the *Ansul* fire suppression system serving the kitchen stovetop in the Hall Bldg was scheduled to be inspected on February 14, 2023, the day following our site visit. A 10 lb. Class K fire extinguisher is also installed in the Hall Bldg kitchen.

Fire Alarm Systems

Only the Convent is provided with a fire alarm system with a digital communicator monitoring smoke detectors and alarm devices. A *Silent Knight* Model 5204 digital communicator is installed. This is an older unit which appears to be no longer supported by the manufacturer, though replacement parts are still available. A cost estimate for a new communicator panel is listed as an optional; Modernization expense in the spreadsheet.

The panel monitors initiation devices such as smoke detectors and pull stations. If activated, the panel signals notification devices such as horns, strobes, and the building fire alarm bell. The ample placement of strobes in the Convent appears to indicate that current Accessibility placement requirements are satisfied for that building. Since the other buildings have neither fire sprinkler systems nor fire alarm systems, there is no requirement that Accessibility compliant alarm devices be installed.

The fire alarm panel is monitored and inspected by Fire King Fire Protection, Inc. of Novato. The last annual inspection was performed in August of 2016; we recommend that the required annual inspection be conducted.

Smoke Detectors

Smoke detectors are installed in the Convent. They are all presumably hard-wired with battery back-up and report to the fire alarm communications panel in that building. Smoke detectors were also observed in the Mod Bldgs.

A cost estimate for a new fire alarm communicator panel is included in the Modernization category of the Immediate Needs & Replacement Reserves Analysis.

F.07 OTHER SYSTEMS

The physical condition of the other systems system appeared "Good."

Commercial kitchen equipment is installed in the Hall Bldg. An *Ansul* fire protection system is installed at the vent hood above the stovetop/oven.

F.08 SECURITY SYSTEM

The physical condition of the installed security systems appeared "Good."

A few keypad locks at building entrances and several video camera mounted on exterior walls are provided as the security system for the property. The video cameras were reported to be operational and are tied to a recording system.

F.09 VERTICAL TRANSPORTATION AND CONVEYING SYSTEMS

Operational vertical transportation and conveying systems are not installed. Dumbwaiters have been installed in the Convent and Rectory, but they are no longer in use. The dumbwaiter cab appears to have been removed in the Rectory. The doors to the dumbwaiter in the Convent have been secured with screws. AllWest makes no recommendation concerning restoring the dumbwaiters to operational status.

G. ACCESSIBILITY COMPLIANCE

The Accessibility Standards of the California Building Code, as adopted by the Novato Department, establish guidelines to afford access and mobility to a site or building to persons with disabilities. The standards are modeled on the Americans with Disabilities Act (ADA) which prohibits discrimination to access and use of areas of public accommodation and commercial facilities on the basis of disability. In California, Accessibility Standards extend to include quasi-public and portions of multi-residential occupancies.

Public-accessible facilities completed and occupied after January 26, 1992 are required to comply fully with the Americans with Disabilities Act Guidelines (ADAAG). In California, all new construction, as well as substantial renovations and upgrades to existing facilities, are required to meet the current Accessibility requirements of the CBC for public, quasi-public, and multi-residential environments.

Where CBC or local Accessibility requirements differ from those found in the ADA and are equal to or more stringent than those found in the ADA, the CBC or local requirements shall govern.

Older facilities are often held to a lesser standard of compliance to the extent allowed by structural feasibility, design logistics, historical status, or economics. Yet, regardless of age, areas accessible by the public must be maintained and operated to comply with the federal mandates of the ADA.

During the Property Condition Survey, a limited visual observation for Accessibility compliance was conducted. The visual observation scope was limited to areas of common use, such as the exterior site, entry areas, restrooms, doors and hardware directly related to common areas. Off-site areas are typically not evaluated. The limited observation described herein is not a full Accessibility Compliance Survey.

Due to the variable nature of Accessibility compliance required of existing buildings and the variable nature of enforcement and interpretation of Accessibility requirements from community to community, analysis of what may be required in any future building permit application is outside the scope of this report, as is an analysis of the possible ramifications of legal and financial liability for any deficiencies in site and building Accessibility which are not remedied. It also bears mentioning that a set of plans that have been approved for a building permit by the Novato Building Department will not necessarily meet the requirements of the ADA or the CBC.

Refer to CBC §11B-202.4 for a hierarchical list of prioritized Accessibility upgrades for existing buildings. Providing remedial measures for Accessibility deficiencies can typically be addressed on the basis of rectifying those deficiencies that are most easily and readily achievable first within the prescriptions of the hierarchy described in the above-cited section of the CBC.

G.01 PARKING

The condition of parking for Accessibility appeared "Good" to "Fair."

The parking lot contains 143 spaces in striped stalls. Nine are marked as Accessible, two of which are Van Accessible. The CBC requires five Accessible parking stalls, one of which shall be Van Accessible. The provided Accessible parking meets the requirements for the quantity required.

Accessible parking is located along the north elevation of the Church, near the northeast corner of the Church, and along the west elevation of the Hall Bldg. The required signage at Accessible stalls and at parking lot entrances is not provided. Accessible stall pavement markings are in a highly degraded condition. Installation of all required Accessibility signage for parking is recommended, as is stall restriping.

Cost estimates for new Accessible parking signs and new pavement markings are included in the Immediate Needs & Replacement Reserves Analysis.

G.02 PATH OF TRAVEL

The condition of the path of travel for Accessibility appeared "Fair" to "Poor."

Numerous deficiencies with exterior and interior path of travel were observed. Some, though not all, are listed as follows:

- Truncated domes are not provided in all required locations;

- An Accessible path of travel for wheelchair occupants is not provided to the Rectory's main entrance;

- An Accessible wheelchair lift is not provided at the stage level in the Hall Bldg;

- A functional Accessible path of travel is generally provided throughout the campus, though it is not delineated and provided with Accessibility signage and pavement markings;

- Functional Accessible path of travel are apparently provided from the public sidewalks to some of the five primary buildings, though they are not delineated and provided with Accessibility signage;

- Interior and exterior doors are typically provided with non-compliant doorknobs;

- Compliant railings are not provided at any exterior stair or ramp;

- Compliant railings are not provided at any interior stair;

- Exterior stairs are not provided with contrasting striping on all treads, as required by code;

- Interior stairs are typically not provided with contrasting striping on the top and bottom treads, as required by code;

Threshold plates at some entrance doors exceed the allowable height;

Though not measured, some interior doors appear to have an insufficient clear width when open to be Accessibility compliant.

It is AllWest's opinion that the residential units and their bathrooms in the Rectory need not comply with Accessibility requirements. However, first floor offices and restrooms in that building do need to be Accessibility compliant.

AllWest recommends that remedial measures be taken to address the deficiencies for Accessibility in each of the bullet items listed above.

In lieu of listing a long string of line items in the spreadsheet, we are including a single line item for an overall allowance for Accessibility upgrades to site and building elements—this line item also contains within it allowances to provide upgrades to restrooms—to achieve a higher level of Accessibility compliance, though not complete compliance, than presently exists at the property.

An estimate to address path of travel deficiencies is included as a single line item in the Immediate Needs & Replacement Reserves Analysis.

G.03 TOILETS & PLUMBING FIXTURES

The condition of the toilets and plumbing fixtures for Accessibility appeared “Fair” to “Poor.”

Compliant restroom facilities were observed only in the Hall Bldg in the restrooms that have been more recently remodeled. Newer restrooms in the Church, though non-complaint, could be easily modified to achieve Accessibility compliance. In the other habitable buildings, restroom compliance for Accessibility is almost non-existent.

Drinking fountains were not observed.

Numerous deficiencies with toilet room and plumbing fixtures observed. Some, though not all, are listed as follows:

In the Church, grab bars are not installed adjacent to the remodeled water closets in both restrooms;

In the Church, the remodeled water closet with grab bars has the toilet flush handle on the wrong side;

Grab bars are not installed in a majority of the water closets;

Many restrooms have non-compliant faucet controls;

Some restrooms appear to lack dimensionality to achieve Accessibility compliance;

Some restrooms have counter-mounted sinks with cabinets below; the cabinets prohibit wheelchair access to the sink;

Drainpipe insulation is typically not installed at restroom sinks.

AllWest recommends that remedial measures be taken to address the deficiencies for Accessibility in each of the bullet items listed above.

An estimate to address plumbing and toilet room deficiencies in the Immediate Needs & Replacement Reserves Analysis, and these costs are included within the single line item discussed in Section G.02.

G.04 ELEVATORS

Vertical transportation and conveying systems for passenger use are not installed.

IV. CONSULTANT'S QUALIFIERS

A. SCOPE OF WORK

AllWest was retained to assess the existing site physical condition, improvements, and buildings at the subject property; and to research available records and interview individuals familiar with the facility operations. AllWest was tasked to identify construction and/or code deficiencies and prepare a spreadsheet for immediate and five-year replacement reserve expenditures.

B. METHODOLOGY

AllWest used industry standard cost estimating guides such as R. S. Means and Current Costs by Saylor Publications as well as our experience and judgment. AllWest conducts spot-check pricing and uses prices provided by local general contractors.

In preparing the report, AllWest utilized industry standard guidelines as a basis for our inquiry including the “Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process,” outlined in ASTM E2018-15.

C. ASSESSMENT CRITERIA

In evaluating the property, "Excellent" is the best maintained property condition or new construction, with all the building equipment operational and no repairs necessary. A "Good" rating is for a condition that demonstrates consistent building maintenance and grounds, and all the building equipment in sound operating condition, with only a few minor repairs needed. A "Fair" rating is for a condition that demonstrates some wear or damage present in the building and/or grounds elements, requiring repair or replacement work. A "Poor" rating is for a condition that is clearly the worst, with a uniform run-down appearance, damaged building elements or inoperable building systems present.

D. LIMITING CONDITIONS

AllWest directly accessed the roof of only the School; all other building have pitched roof and AllWest typically does not access those. Pitched roofs were observed from grade or from the second floors of the Convent and the Rectory. The roof of the Bell Tower was not observable. We entered and observed all buildings and we accessed both floors in the Convent and the Rectory. We accessed only the grade level of the Bell Tower. We did not enter every room in every building as school was in session and normal business operations were also under way during our site visit. We observed administration office areas. We observed classrooms, the auditorium/basketball court, stage and backstage areas, the library, storage rooms, and utility and mechanical rooms. We entered the Church and accessed the overwhelming majority of spaces in that building. We entered a large sampling of restrooms in all habitable buildings.

During the preparation of this report:

- Original architectural and structural construction drawings were not provided;
- An ALTA survey was not provided;
- An ADA survey was not provided;
- A current rent roll was not provided; the building is owner-occupied as a single tenant educational and religious facility;
- Some maintenance/repair information for the HVAC systems was provided in oral form during our site visit;
- Some information concerning testing and inspections of the fire and life safety

systems was observed during our site visit;

- Roof maintenance/repair documents were not provided;
- Vendor service agreements were not provided;
- Some historical repair or improvement information was provided;
- Proposals for planned improvements were not provided;
- Certificates of Occupancy were not available online and were not provided;
- The AllWest PCA client questionnaire was not returned. Several questions submitted to Heidi Garzo were answered in telephone conversations and in written form via e-mail.

An appraisal was not made available for the subject property. Quantities were arrived at with input from the property management company, construction documents, and by our own count. AllWest relied upon field observations and measurements. AllWest recommends that, if feasible and permissible, all building materials or finishes be replaced in kind. AllWest did not operate any building systems or equipment and did not perform any tests. This report does not confirm the presence or absence of hazardous materials.

This evaluation represents AllWest's opinion based on our site observations. It should be recognized that items, other than those specifically identified in this report, might require repair or replacement. Furthermore, this review is not intended to preempt in any way the technical or professional responsibility of the original design consultants.

The inspection procedures do not address termite or environmental inspection. The investigation scope was limited to accessible building areas, structure, and its components. Physical removal of wall panels or similar items was not performed to determine structural soundness or equipment reliability.

AllWest has visually assessed the subject property, both the land and the improvements thereon, where applicable. It is impossible to personally observe conditions that may exist below the surface of that may be hidden within the structure of the improvements. Therefore, it cannot be guaranteed that hidden or unexpected problems with the facility structural integrity or soil conditions do not exist.

The inspection findings contained in this report are based upon quantitative and qualitative factors that exist on the inspection date. There can be no assurance that intervening factors will not affect the report's conclusions.

Sketches, floor plans, and maps used in this report are included to aid the reader's visual understanding and should not be considered surveys or engineering studies. All dimensions and estimates of building size, net or gross are approximations.

The report is intended only for the internal use of the addressee or their authorized representative and possession does not imply the right of publication or the use for any other purpose without the written consent of AllWest Environmental, Incorporated.

Neither all nor part of this report shall be conveyed to the public through advertising, public relations, news, sales, or other media without the prior written consent of AllWest Environmental, Incorporated.

This report is not intended, in any manner, to include any critique or evaluation of the design concept, or the structural, mechanical, or electrical systems, which may be incorporated into the subject property. It is not intended as an opinion with respect to any legal relationship or responsibilities between the architect, the engineers, the contractor, or the subject property owner. While AllWest Environmental, Inc. has reviewed some documents, our statements are not intentional legal opinions. In making this review and subsequent on-site inspection, AllWest Environmental, Inc. does not assume any legal responsibilities for the design architects or engineers, or contractors for the subject property, nor is any other warranty or representation expressed or implied, included or intended.

E. PREVIOUS REPORTS

A previous Property Condition Assessment was not provided.

F. CONSULTANT QUALIFICATION

Ryan Miller is a California Licensed Architect with more than 35 years of related experience.

Miguel Enguidanos is a California Licensed Architect with more than 43 years of related experience.

G. RELIANCE LANGUAGE

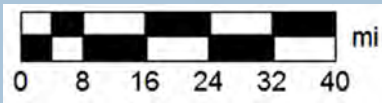
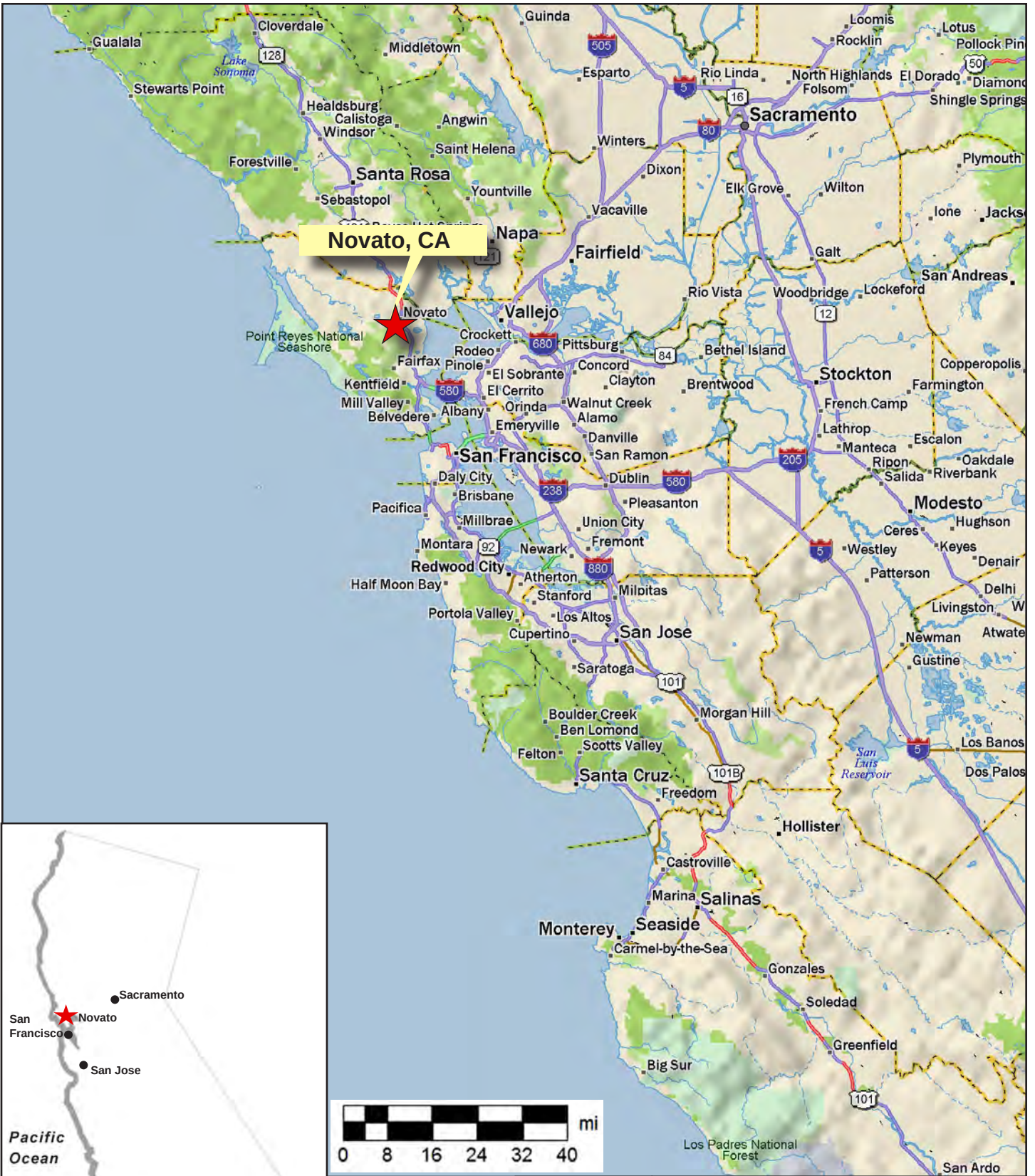
This report was prepared for the sole and exclusive use of Our Lady of Loretto Church, the only intended beneficiary of this work. No excerpts may be taken as representative of the findings of this assessment. The scope of services performed in the execution of this investigation may not be appropriate to satisfy other users, and any use or reuse of this document or its findings, conclusions, and recommendations is at the user's sole risk.

The information contained in this report has received appropriate technical review and approval. The conclusions represent professional judgments and are founded upon the investigation findings identified in the report and the interpretation of such data based on our experience and expertise according to the existing standard of care. No other warranty or limitation exists, either expressed or implied.

AllWest's opinion of probable costs has been prepared solely as a general reference document for the use of client Our Lady of Loretto Church. Our estimates have not been prepared by a cost estimator or contractor and as such should not be considered a guaranteed maximum of costs. AllWest estimates are based on presumed or calculated quantities and unit costs based on AllWest's research or previously documented amounts. AllWest's allowances are an amount established to cover the cost of a recommended remedial measure, the parameters of which are not specified in detail. Our estimate has been prepared to meet the unique needs of client Our Lady of Loretto Church. No other parties may rely on the estimate without AllWest's consent. This report is not a specification for further work and is not intended as a construction budget nor should be used to gain construction financing. All area, unit costs, and line-item estimates are order-of-magnitude only.

Neither AllWest, nor any staff member assigned to this investigation has any interest or contemplated interest, financial or otherwise, in the subject or surrounding properties, or in any entity which owns, leases, or occupies the subject or surrounding properties, or which may be responsible for issues identified during the course of this investigation, and has no personal bias with respect to the parties involved.

FIGURES



AllWest

PROJECT NO.
23017.60

REGIONAL MAP

FIGURE 1

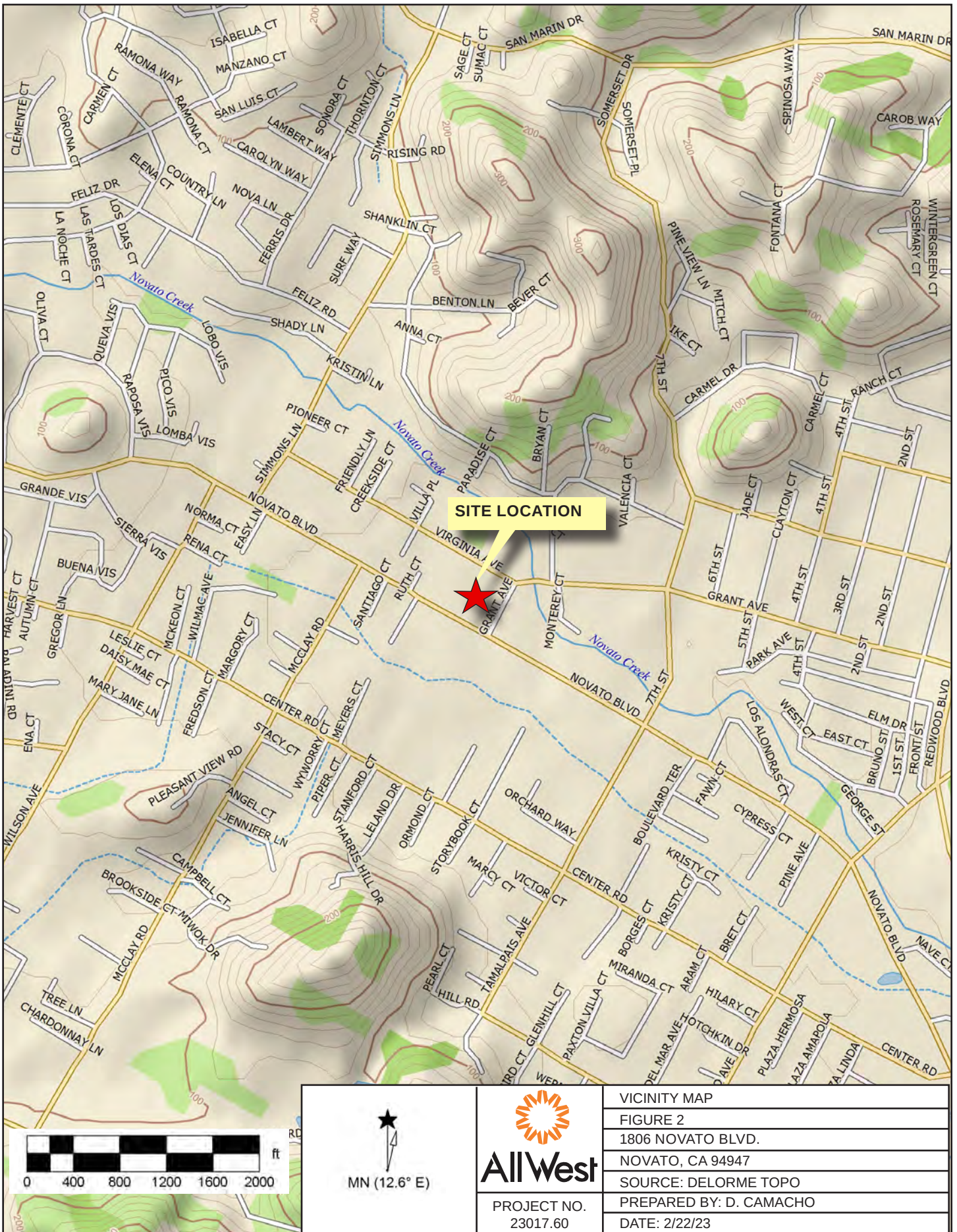
1806 NOVATO BLVD.

NOVATO, CA 94947

SOURCE: DELORME TOPO

PREPARED BY: D. CAMACHO

DATE: 2/22/23





AllWest

PROJECT NO.
23017.60

AERIAL PHOTO

FIGURE 3

1806 NOVATO BLVD.

NOVATO, CA 94947

SOURCE: GOOGLE

PREPARED BY: D. CAMACHO

DATE: 2/22/23

PHOTOGRAPHS



1. Church: The main entrance is located along the south elevation.



2. Church: East elevation at left; portion of north elevation can be seen at right.



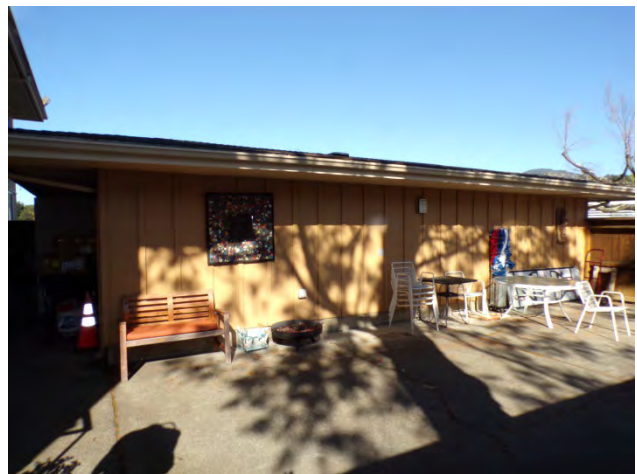
3. The Bell Tower is located to the west of the Church (seen at far right).



4. Rectory: South elevation.



5. Rectory: Portion of west elevation at center; north elevation at far left. The roof of the Garage is at right.



6. The Garage (east elevation shown) is located immediately to the north of the Rectory.



7. Hall Bldg: North elevation along Virginia Avenue.



8. Hall Bldg: East elevation along Grant Avenue.



9. School: Primary entrance at center of photo. North elevation at right-center.



10. School: East elevation.



11. Convent: East elevation. South elevation at far left.



12. Convent: The primary entrance is on the east elevation.



13. Mod Bldg S at left; Mod Bldg N at right.



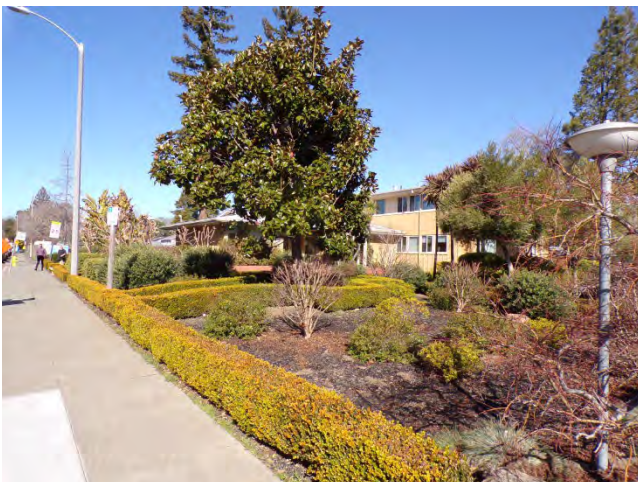
14. Mod Bldg N has an asphalt composite roofing system. Mod Bldg S has a ribbed steel panel roofing system.



15. The trash enclosure is located to the north of the Rectory (in background).



16. Landscaping between the Church and the Rectory (in background).



17. Landscaping along Novato Boulevard. The Rectory is in the background.



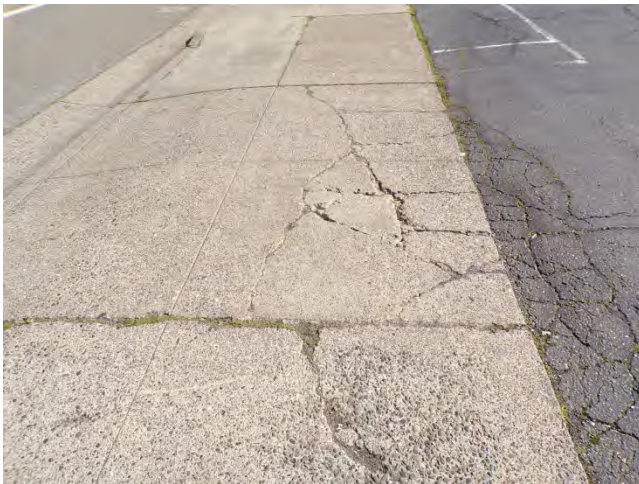
18. Grass lawns are in a degraded condition.



19. Changes in elevation in excess of ¼" create tripping hazards.



20. Changes in elevation in excess of ¼" create tripping hazards.



21. Degraded concrete sitework unrelated to tripping hazards were also observed.



22. Degraded courtyard paving.



23. Evidence of concrete grinding was observed.



24. Truncated domes are not installed at the curb ramp at the intersection of Grant and Virginia Avenues.



25. Playground equipment is installed along the north elevation of the School.



26. A play area with synthetic grass is located between the Convent (in background) and the School.



27. The asphalt paving is in a generally degraded condition.



28. Along the west site perimeter, voids in the asphalt paving were observed. AllWest presumes that plants were once installed in these voids.



29. Upheavals and depressions in asphalt paving.



30. Upheavals and depressions in asphalt paving.



31. Parking stall striping is in an overall degraded condition.



32. Accessible parking stall striping and pavement markings are in a degraded condition. Accessible stalls also lack required signage.



33. Church: An asphalt composite roofing system is installed.



34. Rectory: A modified bitumen roofing system with white gravel ballast is installed.



35. Hall Bldg: An asphalt composite roofing system is installed.



36. Bell Tower: The roofing system was not visible from grade. An unknown type of roofing system is installed.



37. Garage: An asphalt composite roofing system is installed.



38. Convent: A modified bitumen roofing system with white gravel ballast is installed.



39. Mod Bldg N (at top) has an asphalt composite roofing system. Mod Bldg S (at bottom) has a ribbed steel panel roofing system.



40. School: A modified bitumen roofing system with pea gravel ballast is installed.



41. School: A modified bitumen roofing system with pea gravel ballast is installed. Area where ballast is absent shown.



42. School: A modified bitumen roofing system with pea gravel ballast is installed. Area where ballast is absent shown.



43. School: Atrium grated roof drains are installed.



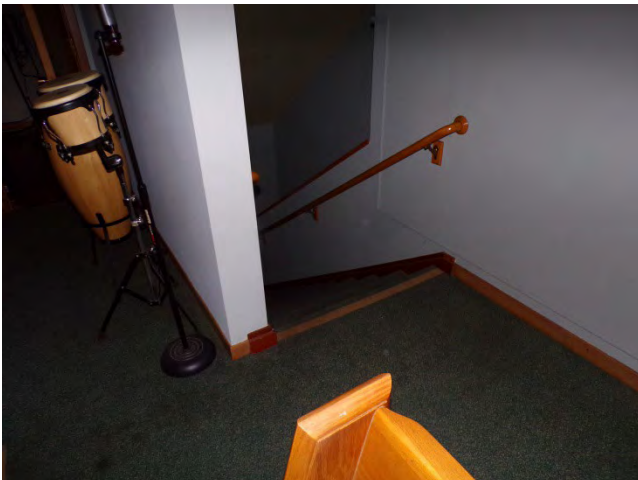
44. School: Replacement of this roofing sytem—and those on all other buildings—is recommended during the reserve term.



45. Church: Interior finishes and fixtures in nave (foreground) and chancel (background).



46. Church: Interior finishes and fixtures at chancel.



47. Church: Two sets of interior stairs serve the choir loft.



48. Church: Interior finishes and fixtures in choir loft



49. Rectory: Interior finishes and fixtures in private office.



50. Rectory: Interior finishes and fixtures in conference room.



51. Rectory: Interior finishes and fixtures in kitchen



52. Rectory: Interior finishes and fixtures in residential unit.



53. Rectory: Interior finishes and fixtures in break room.



54. Rectory: Two sets of interior stairs are provided. Stairs lack compliant visually contrasting striping at top and bottom treads. Non-compliant handrails are installed.



55. Hall Bldg: Interior finishes and fixtures in basketball court.



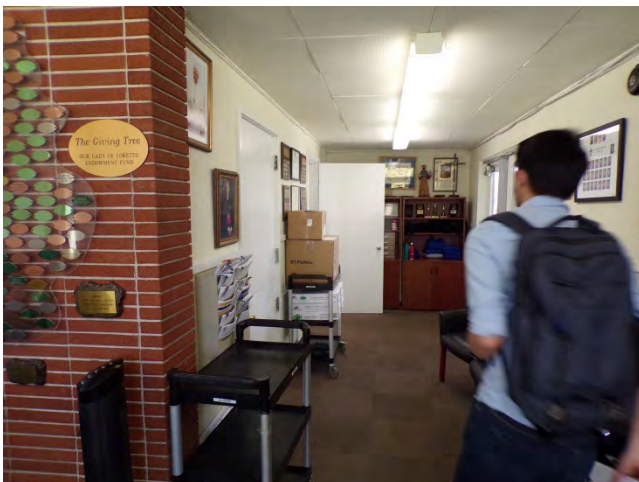
56. Hall Bldg: Interior finishes and fixtures at stage area.



57. Hall Bldg: Interior finishes and fixtures in meeting room.



58. Hall Bldg: Interior finishes and fixtures in kitchen.



59. School: Interior finishes and fixtures in office area.



60. School: Interior finishes and fixtures in office area. Adhesive-applied acoustic ceiling tiles shown.



61. School: Interior finishes and fixtures in breakroom of office area.



62. School: Interior finishes and fixtures in classrooms.



63. School: Interior finishes and fixtures in classrooms.



64. Convent: Interior finishes and fixtures in classrooms.



65. Convent: Interior finishes and fixtures in classrooms.



66. Convent: Two sets of interior stairs are provided. Stairs lack compliant visually contrasting striping at top and bottom treads. Compliant handrails are not provided.



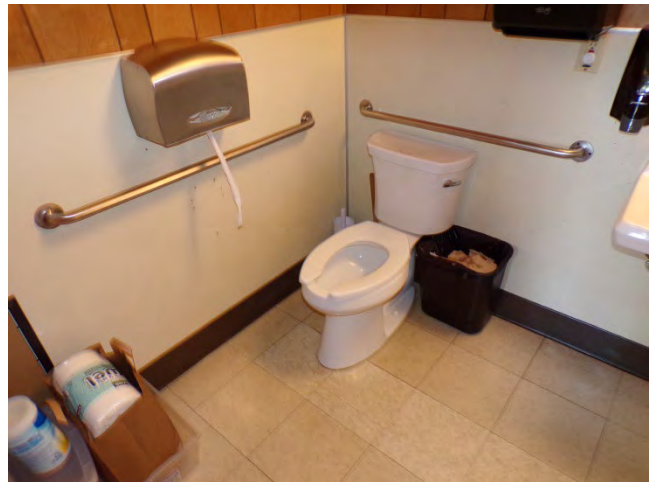
67. Mod Bldg N: Interior finishes and fixtures in classroom.



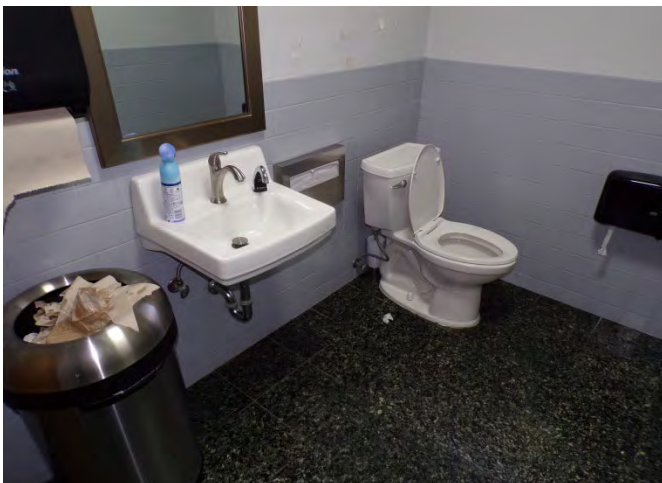
68. Mod Bldg N: An electric water heater of unknown age is installed in this modular building.



69. Mod Bldg S: Interior finishes and fixtures in classroom.



70. Mod Bldg S: Interior finishes and fixtures in restroom



71. Church: Finishes and fixtures in remodeled restroom.



72. Church: Finishes and fixtures in older restroom.



73. Rectory: Finishes and fixtures in office area restroom.



74. Rectory: Finishes and fixtures in office area restroom.



75. Rectory: Finishes and fixtures in residential unit bathroom.



76. Rectory: Finishes and fixtures in residential unit bathroom.



77. Hall Bldg: Finishes and fixtures in remodeled restroom.



78. Hall Bldg: Finishes and fixtures in remodeled restroom.



79. Hall Bldg: Finishes and fixtures in remodeled restroom.



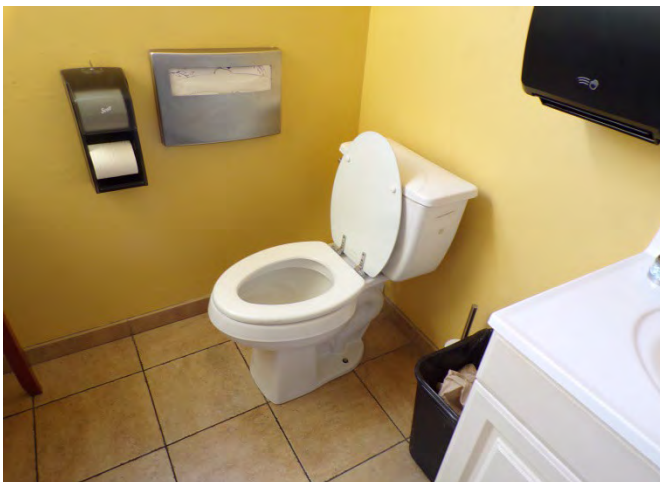
80. School: Finishes and fixtures in children's restroom.



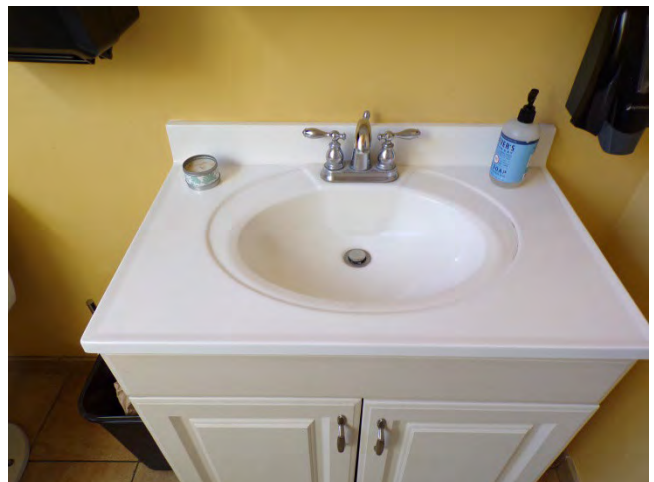
81. School: Finishes and fixtures in children's restroom.



82. School: Finishes and fixtures in children's restroom.



83. School: Finishes and fixtures in office area restroom.



84. School: Finishes and fixtures in office area restroom.
Many restroom sinks have non-compliant faucet handles for Accessibility.



85. Rectory: Finishes and fixtures in restroom.



86. Rectory: Finishes and fixtures in restroom.



87. Rectory: Finishes and fixtures in restroom.



88. Rectory: Finishes and fixtures in restroom.



89. Church: Two Reznor natural gas-fired furnances, manufactured in November of 2011, provide heat.



90. Rectory: Three split-system heat pumps were manufactured by Mitsubishi in 2022 (two shown). They provide heated and cooled air.



91. Rectory: A natural gas-fired boiler provides hot water to a hydronic loop heating system. The boiler has a rigid gas line connection.



92. Rectory: Five circulation pumps for the hydronic loop system were replaced in December 2022 (three shown).



93. Hall Bldg: Two Lennox natural gas-fired furnaces provide heat.



94. Hall Bldg: The Lennox furnaces were manufactured in October of 1975.



95. School: One natural gas-fired furnace provides heat to the office area.



96. School: Each of the eight classrooms has a natural gas-fired furnace for space heating.



97. Mod Bldgs: Each Mod Bldg has two ZoneAir electric furnaces. Age and heating capacity are unknown.



98. Church: The main electrical service entrance panel is rated at 225 amps.



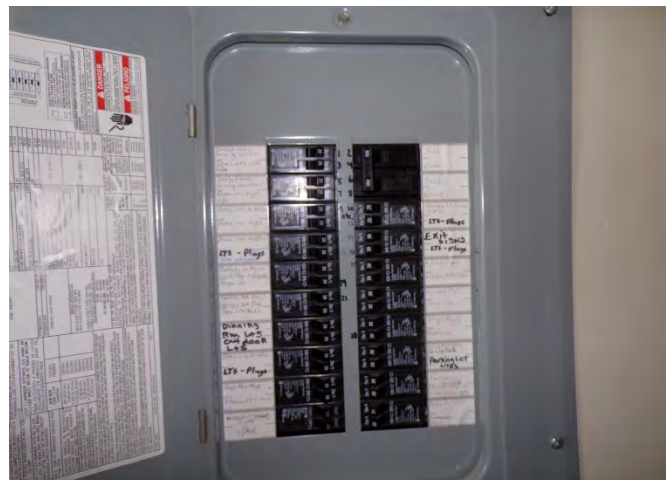
99. Church: This electrical panel is lacking an interior cover plate.



100. Rectory: Two main service panels, each rated at 100 amps, are installed (one shown).



101. Rectory: A sub-panel rated at 125 amps is also installed in this building.



102. Hall Bldg: The main electrical service entrance panel is rated at 200 amps.



103. School: The main electrical service entrance panel is rated at 200 amps.



104. Convent: The main electrical service entrance panel is rated at 200 amps.



105. Convent: A locked PG&E enclosure near this building presumably contains the main electrical switchgear for the property.



106. Church: The 20-gallon electric water heater has seismic strapping. This unit was manufactured in December of 1995.



107. Hall Bldg: The 50-gallon natural gas-fired water heater was manufactured in January of 1982.



108. Convent: This is the only building to have a fire alarm panel installed.



109. Convent: Horn/strobe alarm devices are installed in this building.



110. Dumbwaiters, which have been taken out of service, are installed in the Convent (shown) and the Rectory.



111. Flooding in the parking lot was reported during recent heavy rains at this area drain.



112. The area drain shown in the preceeding photo drains into this creek across Grant Avenue.



113. The perimeter chain-link fencing is in a degraded condition. Bent pole and rusted chain-link shown.



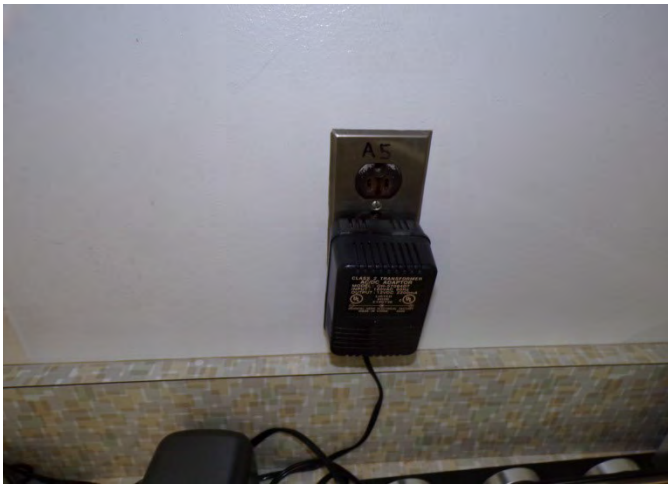
114. Bent chain-link fencing horizontal support at trash enclosure.



115. Some exterior doors are in a degraded condition and should be replaced. (School shown.)



116. Convent: The hot water boiler likely dates to original construction in 1958. It has a rigid gas line connection.



117. GFCI receptacles are not installed in all required locations. (Rectory shown.)



118. Each of the five primary buildings has a gas meter; automatic seismic shutoff valves are not installed at any meter. (School shown.)



119. Railings at exterior stairs are not compliant with current Accessibility requirements. (Church shown.)



120. Railings at exterior stairs are not compliant with current Accessibility requirements. (Hall Bldg shown.)

APPENDIX A

RM.4-49

Parcel Information

Report generated 2/7/2023 10:37:51 AM

Property ID: 141-142-16

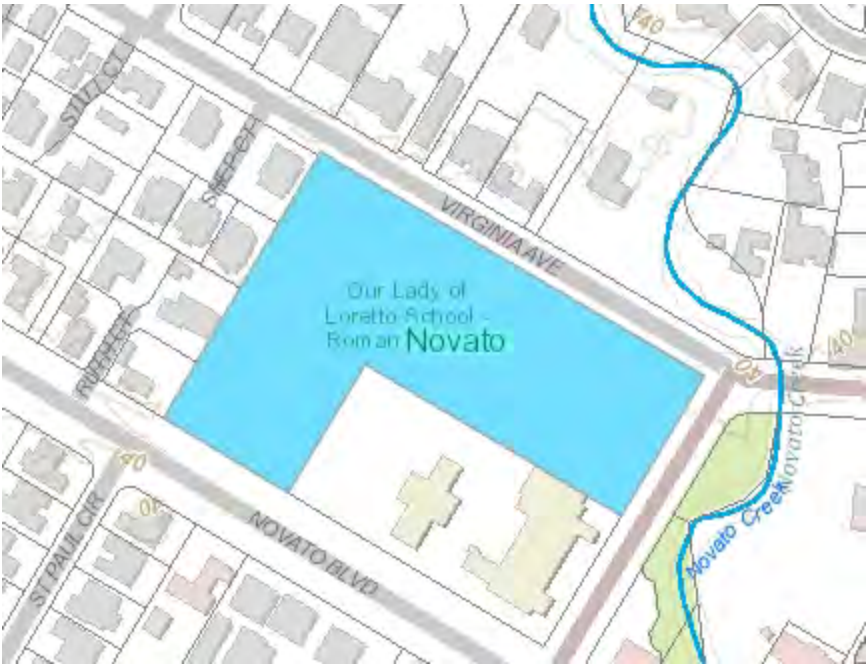
Address: 1811 VIRGINIA AVE , NOVATO

Land Use: Exemption - Improved

Units: 1

Tax Rate Area: 010-017

Average Slope: 2.55



Parcel highlighted in blue

Census:	102202	Local Coastal Plan:	
District:	5 Eric Lucan	Dam Failure Area:	Novato Creek
Wildland Interface:		Alquist Priolo Zone:	
Community Plan:	Novato	Stream Conserv. Area/Buffer:	0
Community:		CWP Area:	Novato
ClubList:		CWP Corridor:	CITY-CENTERED
Traffic Zone:	193	Fire Service:	Novato Fire Protection District
Zoning:	R5-4.5	Fire Authority:	Novato Fire Protection District

Flood Zone: AO Insurance Required: Y

Zone AO is the flood insurance rate zone that corresponds to the areas of 1-percent shallow flooding (usually sheet flow on sloping terrain) where average depths are between 1 and 3 feet. Average flood depths derived from the detailed hydraulic analyses are shown within this zone. In addition, alluvial fan flood hazards are shown as Zone AO on the Flood Insurance Rate Map. Mandatory flood insurance purchase requirements apply.

This parcel is in these Tax Districts

- CITY : NOVATO
- UNIFIED SCHOOL : NOVATO-SAN JOSE
- COMM. COLLEGE : MARIN JUNIOR
- MOSQ & VECTOR CONTRL : MARIN SONOMA
JT(21,49)
- BRIDGE : GOLDEN GATE JT(08,21,23,28,38)
- AIR QUALITY MGMT. : BAY AREA
JT(1,7,21,28,38,41,43,48,49)
- FLOOD CONTROL : COUNTY- ZN. NO. 01 (FCZ
#1 - NOVATO)
- FIRE PROTECTION : NOVATO
- REGIONAL PARK : MARIN COUNTY
- SANITARY : NOVATO
- TRANSIT : MARIN COUNTY
- WATER : NORTH MARIN JT(21,49)
- MOSQ & VECTOR CONTRL : MARIN SONOMA
JT-ORIGINAL AREA

Property ID: 141-142-17

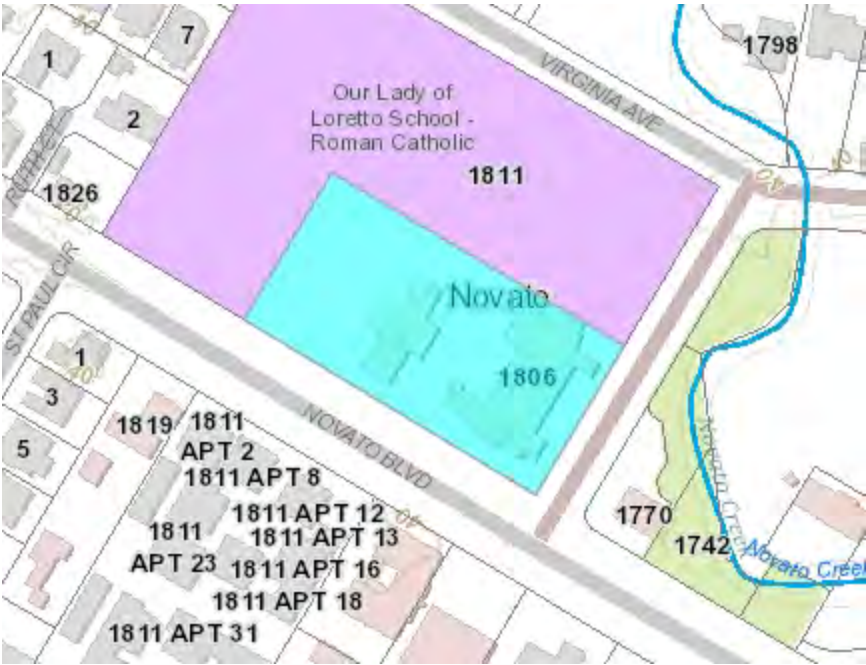
Address: 1806 NOVATO BLVD , NOVATO

Land Use: Exemption - Improved

Units: 1

Tax Rate Area: 010-017

Average Slope: 2.71



Parcel highlighted in blue

Census:	102202	Local Coastal Plan:	
District:	5 Eric Lucan	Dam Failure Area:	Novato Creek
Wildland Interface:		Alquist Priolo Zone:	
Community Plan:	Novato	Stream Conserv. Area/Buffer:	0
Community:		CWP Area:	Novato
ClubList:		CWP Corridor:	CITY-CENTERED
Traffic Zone:	193	Fire Service:	Novato Fire Protection District
Zoning:	R5-4.5	Fire Authority:	Novato Fire Protection District

Flood Zone: AO Insurance Required: Y

Zone AO is the flood insurance rate zone that corresponds to the areas of 1-percent shallow flooding (usually sheet flow on sloping terrain) where average depths are between 1 and 3 feet. Average flood depths derived from the detailed hydraulic analyses are shown within this zone. In addition, alluvial fan flood hazards are shown as Zone AO on the Flood Insurance Rate Map. Mandatory flood insurance purchase requirements apply.

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- CITY : NOVATO
- UNIFIED SCHOOL : NOVATO-SAN JOSE
- COMM. COLLEGE : MARIN JUNIOR
- MOSQ & VECTOR CONTRL : MARIN SONOMA
JT(21,49)
- BRIDGE : GOLDEN GATE JT(08,21,23,28,38)
- AIR QUALITY MGMT. : BAY AREA
JT(1,7,21,28,38,41,43,48,49)
- FLOOD CONTROL : COUNTY- ZN. NO. 01 (FCZ
#1 - NOVATO)
- FIRE PROTECTION : NOVATO
- REGIONAL PARK : MARIN COUNTY
- SANITARY : NOVATO
- TRANSIT : MARIN COUNTY
- WATER : NORTH MARIN JT(21,49)
- MOSQ & VECTOR CONTRL : MARIN SONOMA
JT-ORIGINAL AREA

ISSUED	5/25/2000	EXPIRED	1/1/1900
PERMIT_NO	00006-0767	STATUS	EXPIRED
SITE_APN	141-142-16	SITE_ADDR	1811 VIRGINIA AVE
CONTRACTOR_NAME		PERMITTYPE	CONSTRUCTION
JOBVALUE	25000	FEES_CHARGED	850.9
DESCRIPTION	CONVERTED: CONVERT STORAGE INT...	RECORDID	CRW:810141345199253

ISSUED	11/20/2014	EXPIRED	
PERMIT_NO	EN2014-0168	STATUS	FINALED
SITE_APN	141-142-16	SITE_ADDR	1811 VIRGINIA Ave
CONTRACTOR_NAME	ARCHDIOCESE OF SAN FRANCISCO P	PERMITTYPE	E ENCROACHMENT
JOBVALUE	7900	FEES_CHARGED	910.15
DESCRIPTION	R&R 780 Sqft of sidewalk	RECORDID	CWJ:1411201016183149

ISSUED	3/5/2015	EXPIRED	7/23/2015
PERMIT_NO	EN2015-0035	STATUS	EXTENDED
SITE_APN	141-142-16	SITE_ADDR	1811 VIRGINIA AVE
CONTRACTOR_NAME	Alison Falvey	PERMITTYPE	E ENCROACHMENT
JOBVALUE	0	FEES_CHARGED	273
DESCRIPTION	Advertizing the school	RECORDID	CWJ:1503050720077006

ISSUED	1/13/2016	EXPIRED	1/12/2017
PERMIT_NO	EN2016-0010	STATUS	ISSUED
SITE_APN	141-142-16	SITE_ADDR	1811 VIRGINIA AVE
CONTRACTOR_NAME		PERMITTYPE	E ENCROACHMENT
JOBVALUE	91	FEES_CHARGED	91
DESCRIPTION	Advertizing for School, Lady o...	RECORDID	CWJ:1601120351275139

ISSUED		EXPIRED	1/1/1900
PERMIT_NO	00006-0926	STATUS	INACTIVE
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD
CONTRACTOR_NAME	WEDGE ROOFING	PERMITTYPE	CONSTRUCTION
JOBVALUE	164730	FEES_CHARGED	1483.9
DESCRIPTION	CONVERTED: MASTER PERMIT CHURC...	RECORDID	CRW:810141345198669

ISSUED	6/20/2000	EXPIRED	12/17/2000
PERMIT_NO	00006-0927	STATUS	EXPIRED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD
CONTRACTOR_NAME	WEDGE ROOFING	PERMITTYPE	CONSTRUCTION
JOBVALUE	0	FEES_CHARGED	0
DESCRIPTION	CONVERTED: RECTORY	RECORDID	CRW:810141345198665

ISSUED	6/21/2000	EXPIRED	12/18/2000
PERMIT_NO	00006-0928	STATUS	EXPIRED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD
CONTRACTOR_NAME	WEDGE ROOFING	PERMITTYPE	CONSTRUCTION
JOBVALUE	0	FEES_CHARGED	0
DESCRIPTION	CONVERTED: REROOF - MULTI-PURP...	RECORDID	CRW:810141345198661

ISSUED	6/21/2000	EXPIRED	12/18/2000
PERMIT_NO	00006-0929	STATUS	EXPIRED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD
CONTRACTOR_NAME	WEDGE ROOFING	PERMITTYPE	CONSTRUCTION
JOBVALUE	0	FEES_CHARGED	0
DESCRIPTION	CONVERTED: REROOF - SCHOOL BUI...	RECORDID	CRW:810141345198657

ISSUED	6/21/2000	EXPIRED	12/18/2000
PERMIT_NO	00006-0930	STATUS	EXPIRED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD
CONTRACTOR_NAME	WEDGE ROOFING	PERMITTYPE	CONSTRUCTION
JOBVALUE	0	FEES_CHARGED	0
DESCRIPTION	CONVERTED: REROOF - CONVENT BU...	RECORDID	CRW:810141345198653

ISSUED	9/13/2001	EXPIRED	1/1/1900
PERMIT_NO	01012-0236	STATUS	EXPIRED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD
CONTRACTOR_NAME	HESS CONSTRUCTION	PERMITTYPE	MECHANICAL
JOBVALUE	7300	FEES_CHARGED	297.35
DESCRIPTION	CONVERTED: REPLACE TYPE 1 HOOD...	RECORDID	CRW:810141344178821

ISSUED	4/30/2002	EXPIRED	1/1/1900
PERMIT_NO	02006-0583	STATUS	ISSUED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD
CONTRACTOR_NAME		PERMITTYPE	CONSTRUCTION
JOBVALUE	6000	FEES_CHARGED	331.3
DESCRIPTION	CONVERTED: INSTALL SHOWER @ EX...	RECORDID	CRW:810141344176049

ISSUED	6/23/1998	EXPIRED	
PERMIT_NO	98006-0655	STATUS	FINALED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD
CONTRACTOR_NAME		PERMITTYPE	CONSTRUCTION
JOBVALUE	11000	FEES_CHARGED	0
DESCRIPTION	CONVERTED: RAISE SANCTURARY FL...	RECORDID	CRW:810141344165357

ISSUED		EXPIRED		1/1/1900
PERMIT_NO	98010-0082	STATUS	INACTIVE	
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD	
CONTRACTOR_NAME	TLW ELECTRIC-TOM WISE	PERMITTYPE	ELECTRICAL	
JOBVALUE	7000	FEES_CHARGED	0	
DESCRIPTION	CONVERTED: TRACK LIGHTS & DIMM...	RECORDID	CRW:810141344158641	

ISSUED	10/22/1999	EXPIRED	
PERMIT_NO	99006-2347	STATUS	FINALED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD
CONTRACTOR_NAME	NOVATO GLASS INC.	PERMITTYPE	CONSTRUCTION
JOBVALUE	14700	FEES_CHARGED	0
DESCRIPTION	CONVERTED: INSTALL 4 WINDOWS.	RECORDID	CRW:810141343147865

ISSUED	1/28/2003	EXPIRED	7/27/2003
PERMIT_NO	B-CN2003-138	STATUS	ISSUED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD.
CONTRACTOR_NAME		PERMITTYPE	CONSTRUCTION
JOBVALUE	15000	FEES_CHARGED	472.4
DESCRIPTION	CONVERTED: Enlarge existing ba...	RECORDID	CRW:810141343139869

ISSUED	10/30/2003	EXPIRED	4/27/2004
PERMIT_NO	B-CN2003-1829	STATUS	EXPIRED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD.
CONTRACTOR_NAME		PERMITTYPE	WINDOW
JOBVALUE	25000	FEES_CHARGED	484.35
DESCRIPTION	CONVERTED: Replacement of 52 w...	RECORDID	CRW:810141343138185

ISSUED	12/7/2006	EXPIRED	6/5/2007
PERMIT_NO	B-CN2006-1454	STATUS	FINALED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD.
CONTRACTOR_NAME		PERMITTYPE	CONSTRUCTION
JOBVALUE	11343	FEES_CHARGED	126.61
DESCRIPTION	CONVERTED: Replace 18 windows ...	RECORDID	CRW:810141342119733

ISSUED	7/1/2008	EXPIRED	12/28/2008
PERMIT_NO	B-CN2008-613	STATUS	EXPIRED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD.
CONTRACTOR_NAME	ARROW CONSTRUCTION & REMODELIN	PERMITTYPE	MINOR CONSTRUCTION
JOBVALUE	9006	FEES_CHARGED	212.52
DESCRIPTION	CONVERTED: Rectory bath remode...	RECORDID	CRW:810141342109977

ISSUED	2/6/2003	EXPIRED	8/5/2003
PERMIT_NO	B-EL2003-45	STATUS	FINALED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD.
CONTRACTOR_NAME	ANTONY'S ELECTRIC INC.	PERMITTYPE	ELECTRICAL
JOBVALUE	10000	FEES_CHARGED	225.9
DESCRIPTION	CONVERTED: REPLACE (1) 400 AMP...	RECORDID	CRW:810141342106793

ISSUED	7/18/2006	EXPIRED	1/14/2007
PERMIT_NO	B-ME2006-216	STATUS	EXPIRED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD
CONTRACTOR_NAME	AAERO HTG. & SHEET METAL INC.	PERMITTYPE	MECHANICAL
JOBVALUE	1954	FEES_CHARGED	85
DESCRIPTION	CONVERTED: Replace direct vent...	RECORDID	CRW:810141341096785

ISSUED	4/5/2006	EXPIRED	10/2/2006
PERMIT_NO	B-ME2006-93	STATUS	EXPIRED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BOULEVARD
CONTRACTOR_NAME	AAERO HTG. & SHEET METAL INC.	PERMITTYPE	HVAC
JOBVALUE	2732	FEES_CHARGED	109.34
DESCRIPTION	CONVERTED: Furnace replacement	RECORDID	CRW:810141341095633

ISSUED	3/7/2005	EXPIRED	9/3/2005
PERMIT_NO	B-PL2005-57	STATUS	EXPIRED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD.
CONTRACTOR_NAME	GENE BURCH PLUMBING & HEATING	PERMITTYPE	WATER HEATER
JOBVALUE	2276	FEES_CHARGED	38.9
DESCRIPTION	CONVERTED: Water heater instal...	RECORDID	CRW:810141341089009

ISSUED	5/9/2005	EXPIRED	11/5/2005
PERMIT_NO	B-RR2005-96	STATUS	VOIDED APPLICAT
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BOULEVARD
CONTRACTOR_NAME	WEDGE ROOFING, INC.	PERMITTYPE	REROOF
JOBVALUE	4590	FEES_CHARGED	143.58
DESCRIPTION	CONVERTED: Reroof	RECORDID	CRW:810141341080865

ISSUED	1/17/2012	EXPIRED	
PERMIT_NO	B2012-0087	STATUS	FINALED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD
CONTRACTOR_NAME	PATRIOT MECHANICAL	PERMITTYPE	MINOR MECHANICAL
JOBVALUE	26500	FEES_CHARGED	509.5
DESCRIPTION	Replace Exisiting 2 Furnaces a...	RECORDID	SD:1201120338272105

ISSUED	7/23/2013	EXPIRED	
PERMIT_NO	B2013-1501	STATUS	FINALED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD
CONTRACTOR_NAME	Golden West Glass Co.	PERMITTYPE	WINDOW
JOBVALUE	43413.79	FEES_CHARGED	716.76
DESCRIPTION	Retrofit and Replacement of 32...	RECORDID	SD:1307231011241149

ISSUED	7/7/2014	EXPIRED	
PERMIT_NO	B2014-1660	STATUS	FINALED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD
CONTRACTOR_NAME	Golden West Glass Co.	PERMITTYPE	WINDOW
JOBVALUE	57616.32	FEES_CHARGED	983.66
DESCRIPTION	Retro Fit Window Installation ...	RECORDID	SD:1407071014430203

ISSUED	8/30/2016	EXPIRED	
PERMIT_NO	B2016-1426	STATUS	FINALED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD
CONTRACTOR_NAME	ARROW CONSTRUCTION & REMODELIN...	PERMITTYPE	CONSTRUCTION
JOBVALUE	75500	FEES_CHARGED	2857.83
DESCRIPTION	Bathroom upgrade-Men's & Women...	RECORDID	KM:1606270929132070

ISSUED	9/28/2022	EXPIRED	
PERMIT_NO	B2022-2267	STATUS	FINALED
SITE_APN	141-142-17	SITE_ADDR	1806 NOVATO BLVD
CONTRACTOR_NAME	ZARAGOZA PLUMBING TEAM INC	PERMITTYPE	B PLUMBING
JOBVALUE	3000	FEES_CHARGED	307.69
DESCRIPTION	Replace 75 gal water heater lo...	RECORDID	EW:2209140423524405



The subject property at 1806 Novato Boulevard, Novato, CA, is located in FEMA Flood Zone AO (Depth 2 feet) and Zone X (shaded) per FIRM Panel No. 06041C0277E, dated March 16, 2016.

Flood Zone X (shaded)

FEMA describes Flood Zone X (unshaded) as an area of 0.2% Annual Chance Flood Hazard, an area of 1% annual chance flood with average depth less than one foot, or with drainage areas of less than one square mile.

Flood Zone AO (Depth 2 feet)

FEMA describes Flood Zone AO (Special Flood Hazard Area) as a river or stream flood hazard area, and an area with a 1% or greater chance of shallow flooding each year, usually in the form of sheet flow, with an average depth ranging from 1 to 3 feet. These areas have a 26% chance of flooding over the life of a 30-year mortgage. Average flood depths derived from detailed analyses are shown within these zones.

APPENDIX B



Novato Fire Protection District

Occupancy: **OUR LADY OF LORETTO CHURCH**
Occupancy ID: **3462**
Address: **1806 Novato BLVD**
Novato CA 94947

Inspection Type: **Initial Inspection**

Inspection Date: **5/20/2019**

Time In: **09:00**

Authorized Date: **06/04/2019**

By: **Wade, Denise D (169)**

Time Out: **10:00**

By: **Wade, Denise D (169)**

Form: Novato Fire
Inspection Form 2017-3

Inspection Description:

Based upon the 2016 California Building Standards Code, including the California Fire Code with locally adopted Novato Fire Protection District amendments.

Inspection Topics:

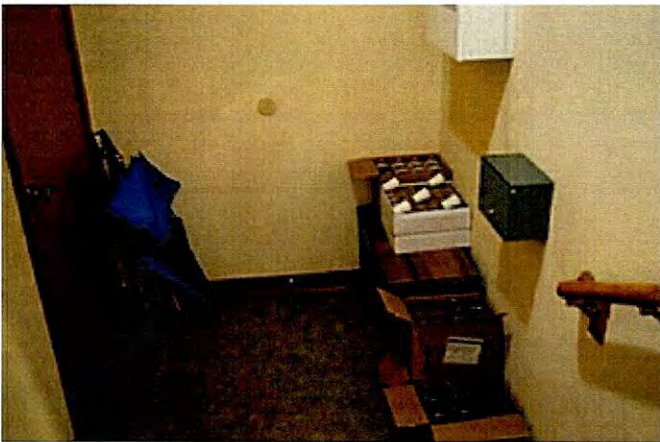
CFC Chapter 3 General Requirements

315.3.2 Means of egress.

Combustible materials shall not be stored in exits or enclosures for stairways and ramps.

Status: **Deficiency**

Notes: **Flower room**



315.3.3 Equipment rooms.

Combustible material shall not be stored in boiler rooms, mechanical rooms, electrical equipment rooms or in fire command centers as specified in Section 508.1.5.

Status: **Deficiency**

Notes:

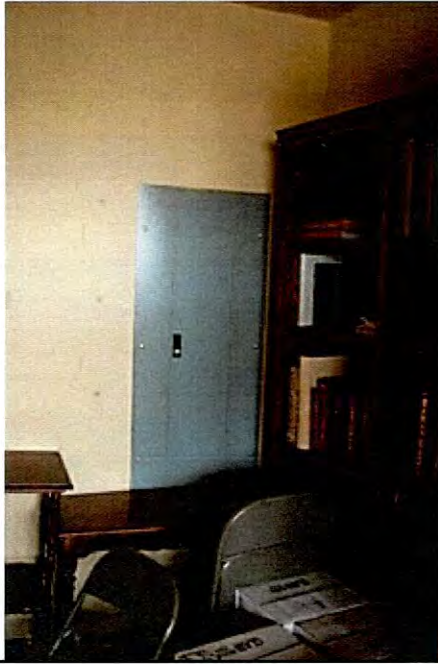
CFC Chapter 6 Building Services and Systems

605.3 Working space and clearance. [Electrical Panels]

A working space of not less than 30 inches (762 mm) in width, 36 inches (914 mm) in depth and 78 inches (1981 mm) in height shall be provided in front of electrical service equipment. Where the electrical service equipment is wider than 30 inches (762 mm), the working space shall not be less than the width of the equipment. No storage of any materials shall be located within the designated working space.

Status: Deficiency

Notes: Rectory and church.



605.4 Multiplug adapters.

Multiplug adapters, such as cube adapters, unfused plug strips or any other device not complying with the California Electrical Code shall be prohibited.

Status: Deficiency

Notes: Recommend UL Listed power strips with surge protectors.

605.5 Extension cords.

Extension cords and flexible cords shall not be a substitute for permanent wiring. Extension cords and flexible cords shall not be affixed to structures, extended through walls, ceilings or floors, or under doors or floor coverings, nor shall such cords be subject to environmental damage or physical impact. Extension cords shall be used only with portable appliances.

Status: Deficiency

Notes: Replace extension cords with permanent wiring or UL Listed power strips with surge protectors.

Main office

Bedrooms

Choir room

Copier room-extension cord was hot to the touch, extension cord unplugged at time of inspection. Copier shall be plugged into permanent wiring.

Office- extension cord cleared.



Further Information

Item #1

Item #1-

Status: Condition of Approval

Notes: Recommend using UL Listed power strips with surge protectors.

Letter Selections

Fire Safety Notice - Compliance Deficiency Report

On the date noted above the Novato Fire Protection District conducted an inspection of your building. During our inspection, the above noted conditions and fire code violations were found to exist. Please have these deficiencies corrected immediately. The Novato Fire Protection District will perform a follow-up inspection to determine compliance approximately two weeks from the date of this notice. Staff have included their business card and telephone number where they may be contacted should you have any questions. Thank you.

Status: Deficiency

Notes:

Additional Time Spent on Inspection:

Category	Start Date / Time	End Date / Time
Notes: No Additional time recorded		

Total Additional Time: 0 minutes

Inspection Time: 60 minutes

Total Time: 60 minutes

Summary:

Overall Result: Violations Noted - No Distinct Hazards Noted - Agent/Owner Noticed

Inspector Notes: 2019 Annual inspection.

Inspector:

Name: Wade, Denise D
Rank: Admin Assistant
Work Phone(s): 415-878-2623
Email(s): dwade@novatofire.org

Representative Signature:

Denise Wade
Signature

2.13.23
Date



Novato Fire Protection District

Occupancy: **OUR LADY OF LORETTO SCHOOL**

Occupancy ID: **5495**

Address: **1811 VIRGINIA AVE
NOVATO CA 94945**

Inspection Type: **Initial Inspection**

Inspection Date: **5/20/2019**

By: **Wade, Denise D (169)**

Time In: **10:30**

Time Out: **11:00**

Authorized Date: **06/04/2019**

By: **Wade, Denise D (169)**

Form: Novato Fire
Inspection Form 2017-3

Inspection Description:

Based upon the 2016 California Building Standards Code, including the California Fire Code with locally adopted Novato Fire Protection District amendments.

Inspection Topics:

CFC Chapter 3 General Requirements

311.2.2 Fire protection.

Fire alarm, sprinkler and standpipe systems shall be maintained in an operable condition at all times.

Status: **Deficiency Cleared**

Notes: **Fire alarm pull station obstructed.**

315.3.1 Ceiling clearance.

315.3.1 Ceiling clearance. Storage shall be maintained 2 feet (610 mm) or more below the ceiling in nonsprinklered areas of buildings or a minimum of 18 inches (457 mm) below sprinkler head deflectors in sprinklered areas of buildings.

Status: **Deficiency**

Notes: **PE storage room**

Paper/Supply room

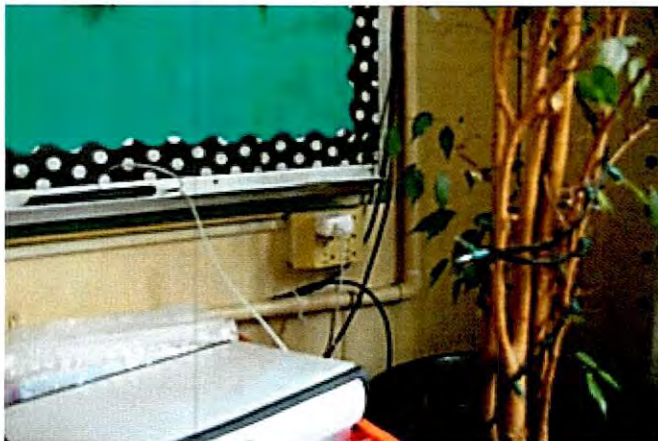
CFC Chapter 6 Building Services and Systems

605.4 Multiplug adapters.

Multiplug adapters, such as cube adapters, unfused plug strips or any other device not complying with the California Electrical Code shall be prohibited.

Status: **Deficiency**

Notes: **Replace with UL Listed power strips with surge protectors.**



605.5 Extension cords.

Extension cords and flexible cords shall not be a substitute for permanent wiring. Extension cords and flexible cords shall not be affixed to structures, extended through walls, ceilings or floors, or under doors or floor coverings, nor shall such cords be subject to environmental damage or physical impact. Extension cords shall be used only with portable appliances.

Status: Deficiency

Notes: Replace extension cords with permanent wiring or UL Listed power strips with surge protectors.

8th grade classroom.

CFC Chapter 9 Fire Protection Systems

906.1 [Portable Fire Extinguisher Required]

906.1 Portable fire extinguishers shall be installed in the following locations. 1. In new and existing Group A, B, E, F, H, I, L, M, R-1, R-2, R-2.1, R-3.1, R-4 and S occupancies. Exception: In Group R-2 occupancies, portable fire extinguishers shall be required only in locations specified in Items 2 through 6 where each dwelling unit is provided with a portable fire extinguisher having a minimum rating of 1-A:10-B:C. 2. Within 30 feet (9144 mm) of commercial cooking equipment. 3. In areas where flammable or combustible liquids are stored, used or dispensed. 4. On each floor of structures under construction, except Group R-3 occupancies, in accordance with Section 3315.1. 5. Where required by the sections indicated in Table 906.1. 6. Special-hazard areas, including but not limited to laboratories, computer rooms and generator rooms, where required by the fire code official. 7. Large and small family day-care homes shall be equipped with a portable fire extinguisher having a minimum 2-A:10-B:C rating. 8. Where required by California Code of Regulations, Title 19, Division 1. 9. Within 30 feet (9144 mm) of domestic cooking equipment located in a Group 1-2. Portable fire extinguishers shall be selected, installed and maintained in accordance with this section and Chapter 3, Title 19 California Code of Regulations. In general, the minimum accepted portable fire extinguisher size is 2-A:10-B:C.

Status: Deficiency

Notes: Install fire extinguisher Kitchen/Staff lounge.

906.6 Unobstructed and unobscured.

Portable fire extinguishers shall not be obstructed or obscured from view. In rooms or areas in which visual obstruction cannot be completely avoided, means shall be provided to indicate the locations of extinguishers.

Status: Deficiency

Notes: 1st and 4th Grade class rooms

CFC Chapter 10 Means of Egress

1003.6 Means of egress continuity.

The path of egress travel along a means of egress shall not be interrupted by a building element other than a means of egress component as specified in this chapter. Obstructions shall not be placed in the minimum width or required capacity of a means of egress component except projections permitted by this chapter. The minimum width or required capacity of a means of egress system shall not be diminished along the path of egress travel.

Status: Deficiency

Notes: Classrooms are required to have a path of egress to exit. Flow of the students egress is hindered by placement of bookcases, chairs, recycle cans, plastic totes and miscellaneous furniture. Could be arranged to allow for quick egress if necessary.

5th grade portable

8th grade



Further Information

Item #1

Item #1-

Status: Deficiency

Notes: Automatic-closing fire door assemblies 716.5.9.2 California building code. Automatic-closing fire door assemblies shall be self-closing in accordance with NFPA 80. Remove all door stoppers from self-closing rated fire doors.

Front doors

Letter Selections

Fire Safety Notice - Compliance Deficiency Report

On the date noted above the Novato Fire Protection District conducted an inspection of your building. During our inspection, the above noted conditions and fire code violations were found to exist. Please have these deficiencies corrected immediately. The Novato Fire Protection District will perform a follow-up inspection to determine compliance approximately two weeks from the date of this notice. Staff have included their business card and telephone number where they may be contacted should you have any questions. Thank you.

Status: Deficiency

Notes:

Additional Time Spent on Inspection:

Category	Start Date / Time	End Date / Time
Notes: No Additional time recorded		

Total Additional Time: 0 minutes

Summary:

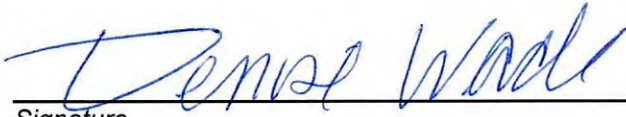
Overall Result: Violations Noted - No Distinct Hazards Noted - Agent/Owner Noticed

Inspector Notes: 2019 Annual inspection.

Inspector:

Name: Wade, Denise D
Rank: Admin Assistant
Work Phone(s): 415-878-2623
Email(s): dwade@novatofire.org

Representative Signature:


Signature


Date



Novato Fire Protection District

Occupancy: **OUR LADY OF LORETTO HALL**

Occupancy ID: **3463**

Address: **1806 NOVATO BLVD
NOVATO CA 94945**

Inspection Type: **Initial Inspection**

Inspection Date: **5/20/2019**

By: **Wade, Denise D (169)**

Time In: **10:00**

Time Out: **10:45**

Authorized Date: **06/04/2019**

By: **Wade, Denise D (169)**

Form: Novato Fire
Inspection Form 2017-3

Inspection Description:

Based upon the 2016 California Building Standards Code, including the California Fire Code with locally adopted Novato Fire Protection District amendments.

Inspection Topics:

CFC Chapter 1 Scope and Administration

107.1 Maintenance of safeguards.

Whenever or wherever any device, equipment, system, condition, arrangement, level of protection, or any other feature is required for compliance with the provisions of this code, or otherwise installed, such device, equipment, system, condition, arrangement, level of protection, or other feature shall thereafter be continuously maintained in accordance with this code and applicable referenced standards.

Status: **Deficiency**

Notes: **Repair sheetrock in kitchen.**



CFC Chapter 3 General Requirements

315.3 Storage in buildings.

Storage of materials in buildings shall be orderly and stacks shall be stable. Storage of combustible materials shall be separated from heaters or heating devices by distance or shielding so that ignition cannot occur.

Status: **Deficiency Cleared During Inspection**

Notes:

315.3.1 Ceiling clearance.

315.3.1 Ceiling clearance. Storage shall be maintained 2 feet (610 mm) or more below the ceiling in nonsprinklered areas of buildings or a minimum of 18 inches (457 mm) below sprinkler head deflectors in sprinklered areas of buildings.

Status: Deficiency

Notes: Exit hallway area.

CFC Chapter 6 Building Services and Systems

604.6 Emergency lighting equipment.

Emergency lighting shall be inspected and tested in accordance with Sections 604.6.1 through 604.6.2.1.

Status: Deficiency

Notes:

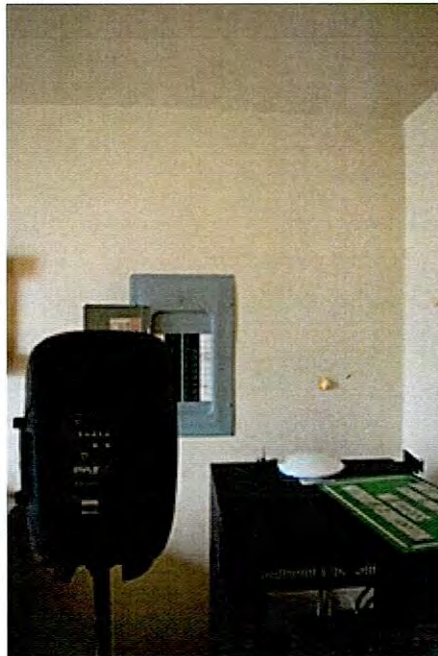


605.3 Working space and clearance. [Electrical Panels]

A working space of not less than 30 inches (762 mm) in width, 36 inches (914 mm) in depth and 78 inches (1981 mm) in height shall be provided in front of electrical service equipment. Where the electrical service equipment is wider than 30 inches (762 mm), the working space shall not be less than the width of the equipment. No storage of any materials shall be located within the designated working space.

Status: Deficiency

Notes:



CFC Chapter 9 Fire Protection Systems

906.5 Conspicuous location.

Portable fire extinguishers shall be located in conspicuous locations where they will be readily accessible and immediately available for use. These locations shall be along normal paths of travel, unless the fire code official determines that the hazard posed indicates the need for placement away from normal paths of travel.

Status: Deficiency

Notes: Class K extinguisher located in the kitchen.

906.6 Unobstructed and unobscured.

Portable fire extinguishers shall not be obstructed or obscured from view. In rooms or areas in which visual obstruction cannot be completely avoided, means shall be provided to indicate the locations of extinguishers.

Status: Deficiency Cleared During Inspection

Notes: Fire extinguisher located on the stage.

CFC Chapter 10 Means of Egress

1003.6 Means of egress continuity.

The path of egress travel along a means of egress shall not be interrupted by a building element other than a means of egress component as specified in this chapter. Obstructions shall not be placed in the minimum width or required capacity of a means of egress component except projections permitted by this chapter. The minimum width or required capacity of a means of egress system shall not be diminished along the path of egress travel.

Status: Deficiency

Notes: Exit hallway- remove cabinet.

Further Information

Item #1

Item #1-

Status: Deficiency

Notes: AED obstructed, remove items in front of AED.

Letter Selections

Fire Safety Notice - Compliance Deficiency Report

On the date noted above the Novato Fire Protection District conducted an inspection of your building. During our inspection, the above noted conditions and fire code violations were found to exist. Please have these deficiencies corrected immediately. The Novato Fire Protection District will perform a follow-up inspection to determine compliance approximately two weeks from the date of this notice. Staff have included their business card and telephone number where they may be contacted should you have any questions. Thank you.

Status: Deficiency

Notes:

Additional Time Spent on Inspection:

Category	Start Date / Time	End Date / Time
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Notes: No Additional time recorded

Total Additional Time: 0 minutes

Inspection Time: 45 minutes

Total Time: 45 minutes

Summary:

Overall Result: Violations Noted - No Distinct Hazards Noted - Agent/Owner Noticed

Inspector Notes: 2019 Annual inspection.

Inspector:

Name: Wade, Denise D
Rank: Admin Assistant
Work Phone(s): 415-878-2623
Email(s): dwade@novatofire.org

Representative Signature:

Denise Wade
Signature

2.13.23
Date



Novato Fire Protection District

Occupancy: **OUR LADY OF LORETTO SCHOOL TK/PRESCHOOL**
Occupancy ID: **5496**
Address: **1819 Virginia AVE**
Novato CA 94945

Inspection Type: **Initial Inspection**

Inspection Date: **5/20/2019**

By: **Wade, Denise D (169)**

Time In: **11:00**

Time Out: **11:45**

Authorized Date: **06/04/2019**

By: **Wade, Denise D (169)**

Form: Novato Fire
Inspection Form 2017-3

Inspection Description:

Based upon the 2016 California Building Standards Code, including the California Fire Code with locally adopted Novato Fire Protection District amendments.

Inspection Topics:

CFC Chapter 3 General Requirements

305.1 Clearance from ignition sources.

Clearance between ignition sources, such as luminaires, heaters, flame-producing devices and combustible materials, shall be maintained in an approved manner.

Status: Deficiency

Notes: Furnace room

311.2.2 Fire protection.

Fire alarm, sprinkler and standpipe systems shall be maintained in an operable condition at all times.

Status: Deficiency

Notes: Fire alarm system is not working, please repair immediately.

315.3.1 Ceiling clearance.

315.3.1 Ceiling clearance. Storage shall be maintained 2 feet (610 mm) or more below the ceiling in nonsprinklered areas of buildings or a minimum of 18 inches (457 mm) below sprinkler head deflectors in sprinklered areas of buildings.

Status: Deficiency

Notes:

CFC Chapter 6 Building Services and Systems

604.6 Emergency lighting equipment.

Emergency lighting shall be inspected and tested in accordance with Sections 604.6.1 through 604.6.2.1.

Status: Deficiency

Notes:

605.4 Multiplug adapters.

Multiplug adapters, such as cube adapters, unfused plug strips or any other device not complying with the California Electrical Code shall be prohibited.

Status: Deficiency

Notes: TK classroom and math room.

Replace with UL Listed power strips with surge protectors.

605.5 Extension cords.

Extension cords and flexible cords shall not be a substitute for permanent wiring. Extension cords and flexible cords shall not be affixed to structures, extended through walls, ceilings or floors, or under doors or floor coverings, nor shall such cords be subject to environmental damage or physical impact. Extension cords shall be used only with portable appliances.

Status: Deficiency

Notes: Replace extension cords with permanent wiring or UL Listed power strips with surge protectors.

CCD office

Sister Jeanette office

Chapel where projector is located

Lounge upstairs

Copier shall be plugged into permanent wiring only.

CFC Chapter 8 Interior Finish, Decorative Materials and Furnishings

[California Code of Regulations, Title 19, Division 1, 3.08]. Decorative Materials. [OSFM Regulated Occupancies]

In every Group A, E, I, R-1, R-2, R-2.1, R-3.1 and R-4 occupancy, all drapes, hangings, curtains, drops, and all other decorative material, including Christmas trees, that would tend to increase the fire and panic hazard shall be made from a nonflammable material, or shall be treated and maintained in a flame-retardant condition by means of a flame-retardant solution or process approved by the State Fire Marshal, as set forth in California Code of Regulations, Title 19, Division 1, Chapter 8. Exits, exit lights, fire alarm sending stations, wet standpipe hose cabinets and fire extinguisher locations shall not be concealed, in whole or in part, by any decorative material.

Status: Deficiency

Notes: Playroom area.

CFC Chapter 10 Means of Egress

1003.6 Means of egress continuity.

The path of egress travel along a means of egress shall not be interrupted by a building element other than a means of egress component as specified in this chapter. Obstructions shall not be placed in the minimum width or required capacity of a means of egress component except projections permitted by this chapter. The minimum width or required capacity of a means of egress system shall not be diminished along the path of egress travel.

Status: Deficiency

Notes: Classrooms are required to have a path of egress to exit. Flow of the students egress is hindered by placement of desks and bookcases. Could be arranged to allow for quick egress if necessary.

Math room

Chapel entrance-remove all chairs.

Further Information

Item #1

Item #1-

Status: Deficiency Cleared

Notes: Glade plugged in removed.

Letter Selections

Fire Safety Notice - Compliance Deficiency Report

On the date noted above the Novato Fire Protection District conducted an inspection of your building. During our inspection, the above noted conditions and fire code violations were found to exist. Please have these deficiencies corrected immediately. The Novato Fire Protection District will perform a follow-up inspection to determine compliance approximately two weeks from the date of this notice. Staff have included their business card and telephone number where they may be contacted should you have any questions. Thank you.

Status: Deficiency

Notes:

Additional Time Spent on Inspection:

Category	Start Date / Time	End Date / Time
Notes: No Additional time recorded		

Total Additional Time: 0 minutes

Summary:**Overall Result:** Violations Noted - No Distinct Hazards Noted - Agent/Owner Noticed**Inspector Notes:** 2019 Annual inspection.**Inspector:**

Name: Wade, Denise D
Rank: Admin Assistant
Work Phone(s): 415-878-2623
Email(s): dwade@novatofire.org

Representative Signature:

Signature

Date

APPENDIX C



APPLICATION FOR AUTHORIZATION TO USE

REPORT TITLE: **PROPERTY CONDITION ASSESSMENT**

1806 Novato Boulevard
Novato, CA 94947

PROJECT NUMBER: 23017.60

To: AllWest Environmental, Inc.
2141 Mission Street, Suite 100
San Francisco, CA 94110

From (Applicant):

(Please clearly identify name and address of person/entity applying for permission to use or copy this document)

Ladies and Gentlemen:

Applicant states they have thoroughly reviewed the report and had the opportunity to discuss with AllWest the report's methodology, findings and conclusion(s).

Applicant hereby applies for permission to rely upon AllWest's work product, as described above, for the purpose of (state here the purpose for which you wish to rely upon the work product):

Applicant only can accept and rely upon AllWest work product under the strict understanding that Applicant is bound by all provisions in the General Conditions to the Work Authorization Agreement provided below. Every report, recommendation, finding, or conclusion issued by AllWest shall be subject to the limitations stated in the Agreement and subject report(s). If this is agreeable, please sign below and return one copy of this letter to us along with the applicable fees. Upon receipt and if acceptable, our signed letter will be returned. AllWest may withhold permission at its sole discretion or require additional re-use fees or terms.

FEES: A \$1,950 coordination and reliance fee, payable in advance, will apply. If desired, for an additional \$250 report reproduction fee, we will reissue the report in the name of the Applicant; the report date, however, will remain the same. All checks will be returned if your request for reliance is not approved.

REQUESTED BY

APPROVED BY

Applicant Company

AllWest Environmental, Inc.

Print Name and Title

Print Name and Title

Signature and Date

Signature and Date

GENERAL CONDITIONS TO THE WORK AUTHORIZATION AGREEMENT

It is hereby agreed that the Client retains AllWest to provide services as set forth in the Work Authorization attached hereto (the "Work"). This contract shall be controlled by the following terms and conditions, and these terms and conditions shall also control any further assignments performed pursuant to this Work Authorization. Client's signature on this Work Authorization constitutes Client's agreement to the all terms to this contract, including these General Conditions.

FEES AND COSTS

1. AllWest shall charge for work performed by its personnel at the rates identified in the Work Authorization. These rates are subject to reasonable increases by AllWest upon giving Client 30 days advance notice. Reimbursable Costs will be charged to the Client in addition to the fees for the basic services under this Agreement and all Additional Services (defined below) under the Agreement. Reimbursable Costs include, but are not limited to, expenses for travel, including transportation, meals, lodging, long distance telephone and other related expenses, as well as the costs of reproduction of all drawings for the Client's use, costs for specifications and type-written reports, permit and approval fees, automobile travel reimbursement, costs and fees of subcontractors, and soil and other materials testing. No overtime is accrued for time spent in travel. All costs incurred which relate to the services or materials provided by a contractor or subcontractor to AllWest shall be invoiced by AllWest on the basis of cost plus twenty percent (20%). Automobile travel reimbursement shall be at the rate of fifty- eight cents (\$0.58) per mile. All other reimbursable costs shall be invoiced and billed by AllWest at the rate of 1.1 times the direct cost to AllWest. Reimbursable costs will be charged to the client only as outlined in the Work Authorization if the scope of work is for Phase I Environmental Site Assessment, Property Condition Assessment, Seismic Assessment or ALTA survey. Invoices for work performed shall be submitted monthly. Payment will be due upon receipt of invoice. Client shall pay interest on the balance of unpaid invoices which are overdue by more than 30 days, at a rate of 18% per annum as well as all attorney fees and costs incurred by AllWest to secure payment of unpaid invoices. AllWest may waive such fees at its sole discretion.

STANDARD OF CARE

2. AllWest will perform its work in accordance with the standard of care of its industry, as it is at the time of the work being performed, and applicable in the locale of the work being performed. AllWest makes no other warranties, express or implied regarding its work.

LIMITATION OF REMEDIES

3. Client expressly agrees that to the fullest extent permitted by law, Client's remedies for any liability incurred by AllWest, and/or its employees or agents, for any and all claims arising from AllWest's services, shall be \$50,000 or its fees, whichever is greater.

Client may request a higher limitation of remedies, but must do so in writing. Upon such written request, AllWest may agree to increase this limit in exchange for a mutually negotiated higher fee commensurate with the increased risk to AllWest. Any such agreed increase in fee and limitation of remedies amount must be memorialized by written agreement which expressly amends the terms of this clause.

As used in this section, the term "limitation of remedies" shall apply to claims of any kind, including, but not limited to, claims brought in contract, tort, strict liability, or otherwise, for any and all injuries, claims, losses, expenses, or damages whatsoever arising out of or in any way related to AllWest's services or the services of AllWest's subcontractors, consultants, agents, officers, directors, and employees from any cause(s). AllWest shall not be liable for any claims of loss of profits or any other indirect, incidental, or consequential damages of any nature whatsoever. Client & AllWest have specifically negotiated this limitation.

INDEMNIFICATION

4. Notwithstanding any other provision of this Agreement, Client agrees, to the fullest extent permitted by law, to waive any claim against, release from any liability or responsibility for, and indemnify and hold harmless AllWest, its employees, agents and sub-consultants (collectively, Consultant) from and against any and all damages, liabilities, claims, actions or costs of any kind, including reasonable attorney's fees and defense costs, arising or alleged to arise out of or to be in any way connected with the Project or the performance or non-performance of Consultant of any services under this Agreement, except to the extent any such liabilities are determined by a court or other forum of competent jurisdiction to have been caused by the negligence or willful misconduct of Consultant.

Client further agrees to indemnify Consultant for any liability Consultant suffers to a third person to the extent that liability exceeds the limitation of liability amounts stated in Limitation of Remedies paragraph. This provision shall be in addition to any rights of indemnity Consultant may have under the law and shall survive and remain in effect following the termination of this Agreement for any reason. Should any part of this provision be determined to be unenforceable, AllWest and Client agree the rest of the provision shall apply to the maximum extent permitted by law. The Client's duty to defend AllWest shall arise immediately upon tender of any matter potentially covered by the above obligations to indemnify and hold harmless.

AllWest agrees to indemnify and hold harmless CLIENT, its officers, directors, partners, employees, and any other entity or person for which AllWest is legally liable, from and against any damages, losses, liabilities, judgments, settlements, expenses, and costs (including reasonable attorneys' fees, costs and expenses recoverable under applicable law), that CLIENT incurs from claims by third parties, to the extent caused by negligent acts, errors or omissions or willful misconduct of AllWest in the performance of professional services under this Agreement and any other entity or person for which AllWest is legally liable.

Notwithstanding the foregoing, if AllWest's obligation to defend, indemnify, and/or hold harmless arises out of AllWest's performance of "design professional" services (as that term is defined under California Civil Code Section 2782.8), AllWest's obligations shall be as stated in California Civil Code Section 2782.8, which is fully incorporated herein as it was in effect as of the date of this Agreement. AllWest's indemnification obligation shall be limited to claims to the extent caused by the negligence, recklessness, or willful misconduct of AllWest, and, upon AllWest obtaining a final adjudication by a court of competent jurisdiction, AllWest's liability for such claim, including the cost to defend, shall not exceed AllWest's proportionate percentage of fault. AllWest is not obligated to indemnify and hold harmless CLIENT for CLIENT'S active or sole negligence, or willful misconduct.

MEDIATION & JUDICIAL REFERENCE

5. In an effort to resolve any conflicts or disputes that arise regarding the performance of this agreement, the Client & AllWest agree that all such disputes shall be submitted to non-binding mediation, using a mutually agreed upon mediation service experienced in the resolution of construction disputes. Unless the parties mutually agree otherwise, such mediation shall be a condition precedent to the initiation of any other adjudicative proceedings. It is further agreed that any dispute that is not settled pursuant to such mediation shall be adjudicated by a court appointed referee in accordance with the Judicial Reference procedures as set forth in California Code of Civil Procedure Section 638 et seq. The parties hereby mutually agree to waive any right to a trial by jury regarding any dispute arising out of this agreement.

The parties further agree to include a similar mediation, Judicial Reference & waiver of jury trial provision in their agreements with other independent contractors & consultants retained for the project and require them to similarly agree to these dispute resolution procedures. The cost of said Mediation shall be split equally between the parties. This agreement to mediate shall be specifically enforceable under the prevailing law of the jurisdiction in which this agreement was signed.

HAZARDOUS WASTE

6. Client acknowledges that AllWest and its sub-contractors have played no part in the creation of any hazardous waste, pollution sources, nuisance, or chemical or industrial disposal problem, which may exist, and that AllWest has been retained for the sole purpose of performing the services set out in the scope of work within this Agreement, which may include, but is not necessarily limited to such services as assisting the Client in assessing any problem which may exist and in assisting the Client in formulating a remedial program. Client acknowledges that while necessary for investigations, commonly used exploration methods employed by AllWest may penetrate through contaminated materials and serve as a connecting passageway between the contaminated material and an uncontaminated aquifer or groundwater, possibly inducing cross contamination. While back-filling with grout or other means, according to a state of practice design is intended to provide a seal against such passageway, it is recognized that such a seal may be imperfect and that there is an inherent risk in drilling borings of performing other exploration methods in a hazardous waste site.

AllWest will not sign or execute hazardous waste manifests or other waste tracking documents on behalf of Client unless Client specifically establishes AllWest as an express agent of Client under a written agency agreement approved by AllWest. In addition, Client agrees that AllWest shall not be required to sign any documents, no matter requested by whom, that would have the effect of AllWest providing any form of certification, guarantee, or warranty as to any matter or to opine on conditions for which the existence AllWest cannot ascertain. Client also agrees that it shall never seek or otherwise attempt to have AllWest provide any form of such certification, guarantee or warranty in exchange for resolution of any disputes between Client and AllWest, or as a condition precedent to making payment to AllWest for fees and costs owing under this Agreement.

Client understands and agrees that AllWest is not, and has no responsibility as, a generator, operator, treater, storer, transporter, arranger or disposer of hazardous or toxic substances found or identified at the site, including investigation-derived waste. The Client shall undertake and arrange for the removal, treatment, storage, disposal and/or treatment of hazardous material and investigation derived waste (such as drill cuttings) and further, assumes full responsibility for such wastes to the complete exclusion of any responsibility, duty or obligation upon AllWest. AllWest's responsibilities shall be limited to recommendations regarding such matters and assistance with appropriate arrangements if authorized by Client.

FORCE MAJUERE

7. Neither party shall be responsible for damages or delays in performance under this Agreement caused by acts of God, strikes, lockouts, accidents or other events or condition (other than financial inability) beyond the other Party's reasonable control.

TERMINATION

8. This Agreement may be terminated by either party upon ten (10) days' written notice should the other party substantially fail to perform in accordance with its duties and responsibilities as set forth in this Agreement and such failure to perform is through no fault of the party initiating the termination. Client agrees that if it chooses to terminate AllWest for convenience, and AllWest has otherwise satisfactorily performed its obligations under this Agreement to that point, AllWest shall be paid no less than eighty percent (80%) of the contract price, provided, however, that if AllWest shall have completed more than eighty percent of the Work at the time of said termination, AllWest shall be compensated as provided in the Work Authorization for all services performed prior to the termination date which fall within the scope of work described in the Work Authorization and may as well, at its sole discretion and in accordance with said Schedule of Fees, charge Client, and Client agrees to pay AllWest's reasonable costs and labor in winding up its files and removing equipment and other materials from the Project.

Upon notice of termination by Client to AllWest, AllWest may issue notice of such termination to other consultants, contractors, subcontractors and to governing agencies having jurisdiction over the Project, and take such other actions as are reasonably necessary in order to give notice that AllWest is no longer associated with the Project and to protect AllWest from claims of liability from the work of others.

DOCUMENTS

9. Any documents prepared by AllWest, including, but not limited to proposals, project specifications, drawings, calculations, plans and maps, and any ideas and designs incorporated therein, as well as any reproduction of the above are instruments of service and shall remain the property of AllWest and AllWest retains copyrights to these instruments of service. AllWest grants to Client a non-exclusive license to use these instruments of service for the purpose of completing and maintaining the Project. The Client shall be permitted to retain a copy of any instruments of service, but Client expressly agrees and acknowledges that the instruments of service may not be used by the Client on other projects, or for any other purpose, except the project for which they were prepared, unless Client first obtains a written agreement expanding the license to such use from AllWest, and with appropriate compensation to AllWest. Client further agrees that such instruments of service shall not be provided to any third parties without the express written permission of AllWest.

Client shall furnish, or cause to be furnished to AllWest all documents and information known to Client that relate to the identity, location, quantity, nature, or characteristics of any asbestos, PCBs, or any other hazardous materials or waste at, on or under the site. In addition, Client will furnish or

cause to be furnished such reports, data, studies, plans, specifications, documents and other information on surface or subsurface site conditions, e.g., underground tanks, pipelines and buried utilities, required by AllWest for proper performance of its services. If Client fails to provide AllWest with all hazardous material subject matter reports including geotechnical assessments in its possession during the period that AllWest is actively providing its services (including up to 30 days after its final invoice), Client shall release AllWest from any and all liability for risks and damages the Client incurs resulting from its reliance on AllWest's professional opinion. AllWest shall be entitled to rely upon Client - provided documents and information in performing the services required in this Agreement; however, AllWest assumes no responsibility or liability for the accuracy or completeness of Client-provided documents. Client-provided documents will remain the property of the Client.

ACCESS TO PROJECT

10. Client grants to AllWest the right of access and entry to the Project at all times necessary for AllWest to perform the Work. If Client is not the owner of the Project, then Client represents that Client has full authority to grant access and right of entry to AllWest for the purpose of AllWest's performance of the Work. This right of access and entry extends fully to any agents, employees, contractors or subcontractors of AllWest upon reasonable proof of association with AllWest. Client's failure to provide such timely access and permission shall constitute a material breach of this Agreement excusing AllWest from performance of its duties under this Agreement.

CONFIDENTIAL INFORMATION

11. Both Client and AllWest understand that in conjunction with AllWest's performance of the Work on the project, both Client and AllWest may receive or be exposed to Proprietary Information of the other. As used herein, the term "Proprietary Information" refers to any and all information of a confidential, proprietary or secret nature which may be either applicable to, or relate in any way to: (a) the personal, financial or other affairs of the business of each of the Parties, or (b) the research and development or investigations of each of the Parties. Proprietary Information includes, for example and without limitation, trade secrets, processes, formulas, data, know-how, improvements, inventions, techniques, software technical data, developments, research projects, plans for future development, marketing plans and strategies. Each of the Parties agrees that all Proprietary Information of the other party is and shall remain exclusively the property of that other party. The parties further acknowledge that the Proprietary Information of the other party is a special, valuable and unique asset of that party, and each of the Parties agrees that at all times during the terms of this Agreement and thereafter to keep in confidence and trust all Proprietary Information of the other party, whether such Proprietary Information was obtained or developed by the other party before, during or after the term of this Agreement. Each of the Parties agrees not to sell, distribute, disclose or use in any other unauthorized manner the Proprietary Information of the other party. AllWest further agrees that it will not sell, distribute or disclose information or the results of any testing obtained by AllWest during the performance of the Work without the prior written approval of Client unless required to do so by federal, state or local statute, ordinance or regulation.

INDEPENDENT CONTRACTOR

12. Both Client and AllWest agree that AllWest is an independent contractor in the performance of the Work under this Agreement. All persons or parties employed by AllWest in connection with the Work are the agents, employees or subcontractors of AllWest and not of Client. Accordingly, AllWest shall be responsible for payment of all taxes arising out of AllWest's activities in performing the Work under this Agreement.

ENTIRE AGREEMENT

13. This Agreement contains the entire agreement between the Parties pertaining to the subject matter contained in it and supersedes and replaces in its entirety all prior and contemporaneous proposals, agreements, representations and understandings of the Parties. The Parties have carefully read and understand the contents of this Agreement and sign their names to the same as their own free act.

INTEGRATION

14. This is a fully integrated Agreement. The terms of this Agreement may be modified only by a writing signed by both Parties. The terms of this Agreement were fully negotiated by the Parties and shall not be construed for or against the Client or AllWest but shall be interpreted in accordance with the general meaning of the language in an effort to reach the intended result.

MODIFICATION / WAIVER / PARTIAL INVALIDITY

15. Failure on the part of either party to complain of any act or omission of the other, or to declare the other party in default, shall not constitute a waiver by such party of its rights hereunder. If any provision of this Agreement or its application be unenforceable to any extent, the Parties agree that the remainder of this Agreement shall not be affected and shall be enforced to the greatest extent permitted by law.

INUREMENT / TITLES

16. Subject to any restrictions on transfers, assignments and encumbrances set forth herein, this Agreement shall inure to the benefit of and be binding upon the undersigned Parties and their respective heirs, executors, legal representatives, successors and assigns. Paragraph titles or captions contained in this Agreement are inserted only as a matter of convenience, and for reference only, and in no way limit, define or extend the provisions of any paragraph. , et al., incurred in that action or proceeding, in addition to any other relief to which it or they may be entitled.

AUTHORITY

17. Each of the persons executing this Agreement on behalf of a corporation does hereby covenant and warrant that the corporation is duly authorized and existing under the laws of its respective state of incorporation, that the corporation has and is qualified to do business in its respective state of incorporation, that the corporation has the full right and authority to enter into this Agreement, and that each person signing on behalf of the corporation is authorized to do so. If the Client is a joint venture, limited liability company or a partnership, the signatories below warrant that said entity is properly

and duly organized and existing under the laws of the state of its formation and pursuant to the organizational and operating document of the entity, and the laws of the state of its formation, said signatory has authority act on behalf of and commit the entity to this Agreement.

COUNTERPARTS

18. This Agreement may be signed in counterparts by each of the Parties hereto and, taken together, the signed counterparts shall constitute a single document.

THIRD PARTY BENEFICIARIES / CONTROLLING LAW

19. There are no intended third party beneficiaries of this Agreement. The services, data & opinions expressed by AllWest are for the sole use of the client, are for a particular project and may not be relied upon by anyone other than the client. This Agreement shall be controlled by the laws of the State of California and any action by either party to enforce this Agreement shall be brought in San Francisco County, California.

TIME BAR TO LEGAL ACTION

20. Any legal actions by either party against the other related to this Agreement, shall be barred after one year has passed from the time the claimant knew or should have known of its claim, and under no circumstances shall be initiated after two years have passed from the date by which AllWest completes its services.